



**PROCUREMENT SERVICES
ADDENDUM**

Date of Notice:	1/22/2025
Solicitation No.:	IB-010-25
Title:	HSC Restroom Renovations
Addendum No.:	1

The following pages shall clarify and/or modify the original bid document(s) as issued by the University of Louisville.

The due date for this bid has been extended to **1/31/2025 at 12:00PM, EST.**

Proposer must acknowledge receipt of this and any addenda either with proposal or by separate letter. Acknowledgement must be received in the Department of Procurement Services, Service Complex Building, University of Louisville no later than **1/31/2025 at 12:00PM, EST.** If by separate letter, the following information must be placed in the lower left-hand corner of the envelope:

Solicitation No.:	IB-010-25
Title:	HSC Restroom Renovations
Due Date:	1/31/2025 at 12:00PM, EST.

Authorized By:

Procurement Services	
-------------------------	--

Receipt Acknowledged:

Company	
Signature	
Name (print)	
Date	

IB-010-25

Addendum 1

RFI

1. Exhibit C is titled "asbestos report", but it is a specification. Will a copy of the inspection report, including test results, be provided? Note, it is essential to our APCD notification process.

University Response: Please see the following link for the report:
<https://louisville.box.com/s/lqan015nuzc2dcc44ayncrlr36pmyw2>

2. In section 1.1 A of the specification, abatement work is stated to occur in five buildings. This information contradicts the information presented during the pre-bid walkthrough. Will the specification be revised to reflect the project scope of work as described during the walkthrough?

University Response: Abatement to only occur within project scope areas within the 55B and 55A buildings as necessary within the Asbestos Report.

3. Please advise if full containment is to be employed as is suggested in the specification language. Specified methods for establishing full containment in a strictly non-friable abatement work area go beyond what is required by APCD regulations, and this would lead to an increase in supply and labor expenses.

University Response: See Section 3.2 – Work Area Definitions. A. Regulated/Partial Containment for Non-Friable Abatement. Containment beyond the minimum requirements of the regulatory body is not required. Full compliance with all local, state, and federal regulations is required.

4. In Exhibit C, it shows abatement removal in 55D and 55C buildings. Is that part of this project?

University Response: Abatement to only occur within project scope areas within the 55B and 55A buildings as necessary within the Asbestos Report.

5. I understood from the visit that the alternate 2 for Building 55A was a total of 5 RR's located on the 1st and 2nd floor. The exhibit drawings show work in the basement and a fire hose valve to be installed. Is this in the actual scope for 55A? If yes, are there spec on that valve?

University Response: Enabling work within the ceiling in the basement restroom is part of the scope so that sanitary in the Level 1 restroom above can be reworked. The scope includes new ceiling, lighting, and re-worked FP here, but nothing else. We note with keynote FP6 to provide a new fire hose cabinet on Levels 1 and 2. See 55A-P001, specification 4-B-I for details.

6. Is there any sprinkler scope for 55B building?

University Response: For Fire Protection scope within 55B, see **revised sheets 55BFP101** for clarification of scope.

7. In the invitation to bid document, section 4.38(Completion Contract) does the 5/17 – 7/17 completion date only refer to the base bid in reference to liquidated damages?

University Response: The schedule within 4.38 refers to Base Bid scope, as well as Add Alternate #1 scope (if accepted).

8. **Clarification Item 1:** Within the 55B 1st Floor scope, ceiling material has been updated. See **revised 55B-202** attached for clarification.
9. **Clarification Item 2:** Within the 55B 2nd Floor scope, flooring material is shown for scope clarity. Additionally, the door and mop sink location within Janitor Closet 299D have been updated. See **revised sheet 55B-103** attached for clarification.
10. **Clarification Item 3:** Within the 55B scope, Sheet Note 17 has been updated, see **revised sheets 55B-102 and 55B-103**.
11. **Clarification Item 4:** Within the 55A scope, Sheet Note 7 has been added, see **revised sheets 55A-101, 55A-102, and 55A-103**.

Attachments: 55B-102
55B-103
55B-202
55B-FP101
55A-101
55A-102
55A-103



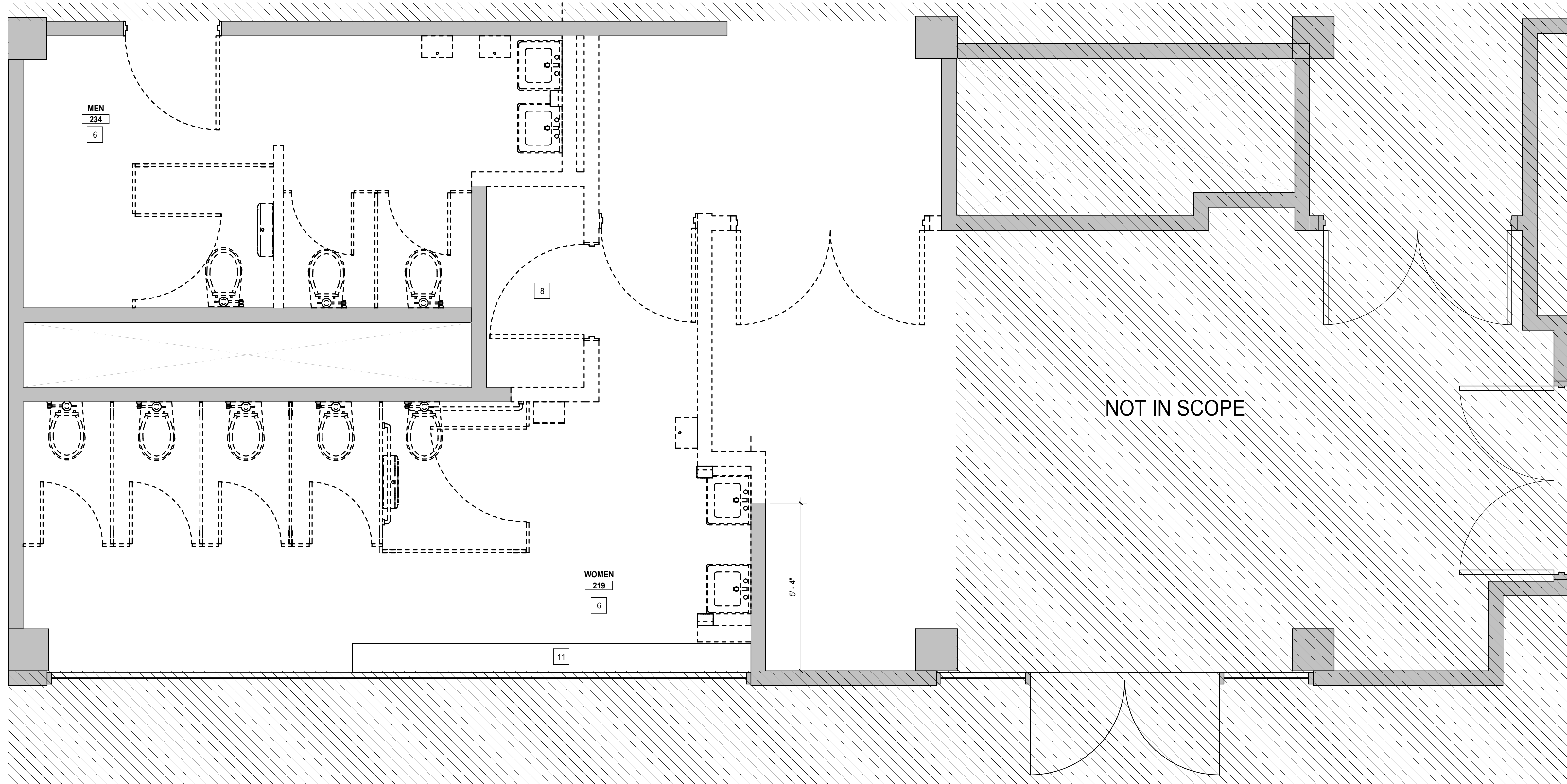
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1	1/20/25	ADDENDUM 1



PROJECT TEAM

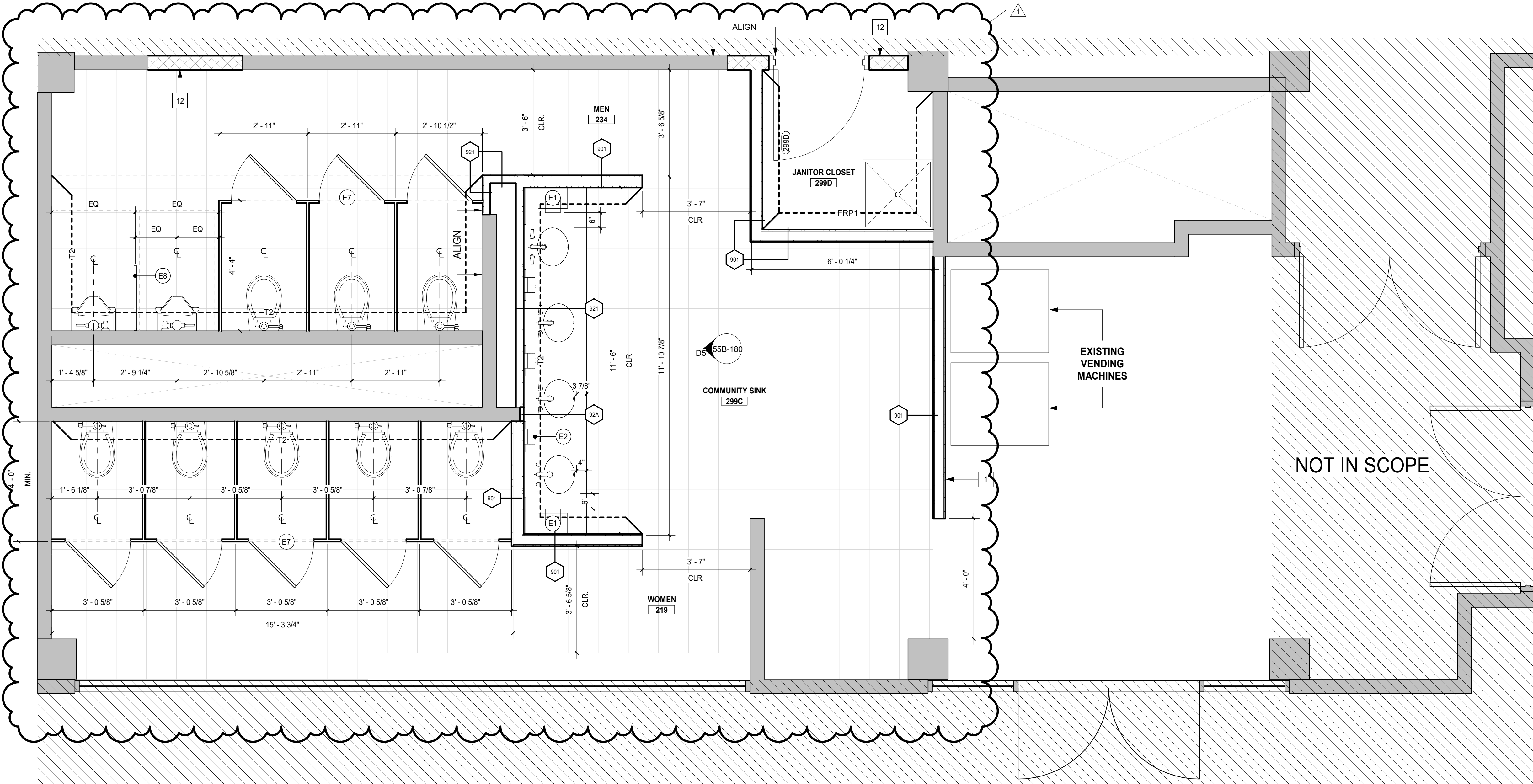
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C1 DEMO FLOOR PLAN - SECOND FLOOR

55B-103 SCALE: 1/2" = 1'-0"



A1 NEW FLOOR PLAN - SECOND FLOOR

55B-103 SCALE: 1/2" = 1'-0"

PLAN LEGEND

- # DENOTES TO DEMOLISH ALL SPECIFIC ITEMS WITHIN THE ROOM, CORRIDOR, OR SPACE.
- INDICATES ITEM TO BE DEMOLISHED
- ## WALL TYPE TAG
- # SHEET NOTE, SPECIFIC ITEM
- NOT IN SCOPE
- EXISTING CONSTRUCTION TO REMAIN, REFER TO FINISH PLANS FOR FINISH UPDATES
- EQUIPMENT TAG, REFER TO EQUIPMENT SCHEDULE

SHEET NOTES

- NEW WALLS TO BE PAINTED TO MATCH EXISTING.
- ADHERE 5/8" GYPSUM WALLBOARD TO BE FLUSH WITH NEW WALL.
- FLOOR HEAT RADIATOR, REFER TO MEP FOR SCOPE UPDATES.
- CUT CMU IN PREPARATION FOR NEW CONSTRUCTION.
- EXTEND LIMITS OF CMU DEMOLITION TO ACCOMMODATE A NEW BULLNOSE CMU AT NEW OPENING. FINAL DIMENSIONS TO COORDINATE WITH SCOPE SHOWN ON NEW FLOOR PLANS.
- REMOVE AND DISPOSE OF EXISTING TILE.
- REMOVE AND RETURN DISPLAY SYSTEM TO UoL.
- JANITOR CLOSET DEMO
- DEPTH OF TOILET COMPARTMENT PARTITION TO EXTEND PAST EXISTING WINDOW.
- FINISH JOINT OF NEW WALL TO EXISTING WALL WITH DRYWALL L-BEAD TRIM.
- CMU HALF PARTIAL WALL WITH ENCLOSED RADIANT HEAT. PAINT TO MATCH ADJACENT WALLS.
- FILL OPENING WITH MATERIAL TO MATCH ADJACENT WALL.
- FLOOR HEAT RADIATOR, REFER TO MEP FOR SCOPE UPDATES. PATCH AND REPAIR WALL FOR PAINTING.
- INSTALL INPRO 1400 FLUSH MOUNT END WALL PROTECTOR. TO BE INSTALLED ABOVE TILE BASE TO CEILING. COLOR TO BE HAZE 0114.
- INSTALL INPRO 150F FLUSH MOUNT CORNER GUARD. TO BE INSTALLED ABOVE TILE BASE TO CEILING. COLOR TO BE HAZE 0114.
- INSTALL MULLION MATE® PLUS. DETERMINE APPROPRIATE MULLION MATE® APPLICATION FOR INSTANCES WHERE PARTITION WALL IS AGAINST WALL OR AGAINST THE MULLION.
- INSTALL SCHLUTER® FINEC FINISHING AND EDGE-PROTECTION PROFILE WITH A MINIMALIST DESIGN. FINISH TO BE SATIN ANODIZED. TYPICAL AT ALL TILE CORNERS AND VERTICAL EDGES.
- REMOVE AND DISPOSE OF EXISTING CEILING LIGHT FIXTURES, AND MECHANICAL GRILLES. REFER TO MEP DRAWINGS.
- WIRE SHELVING PROVIDED BY OWNER.
- PROVIDE BULLNOSE CMU AT EXPOSED WALL TERMINATION.
- DIRECTLY ADHERE 5/8" MOLD & MOISTURE RESISTANT TO EXISTING CMU WALL. PREPARE SURFACE ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

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Job Number 497-8933
Drawn By AJW
Checked By MPS
Date 2025/01/16



SECOND FLOOR
RESTROOMS -
ENLARGED FLOOR
PLANS

55B-103

CONSTRUCTION
DOCUMENTS

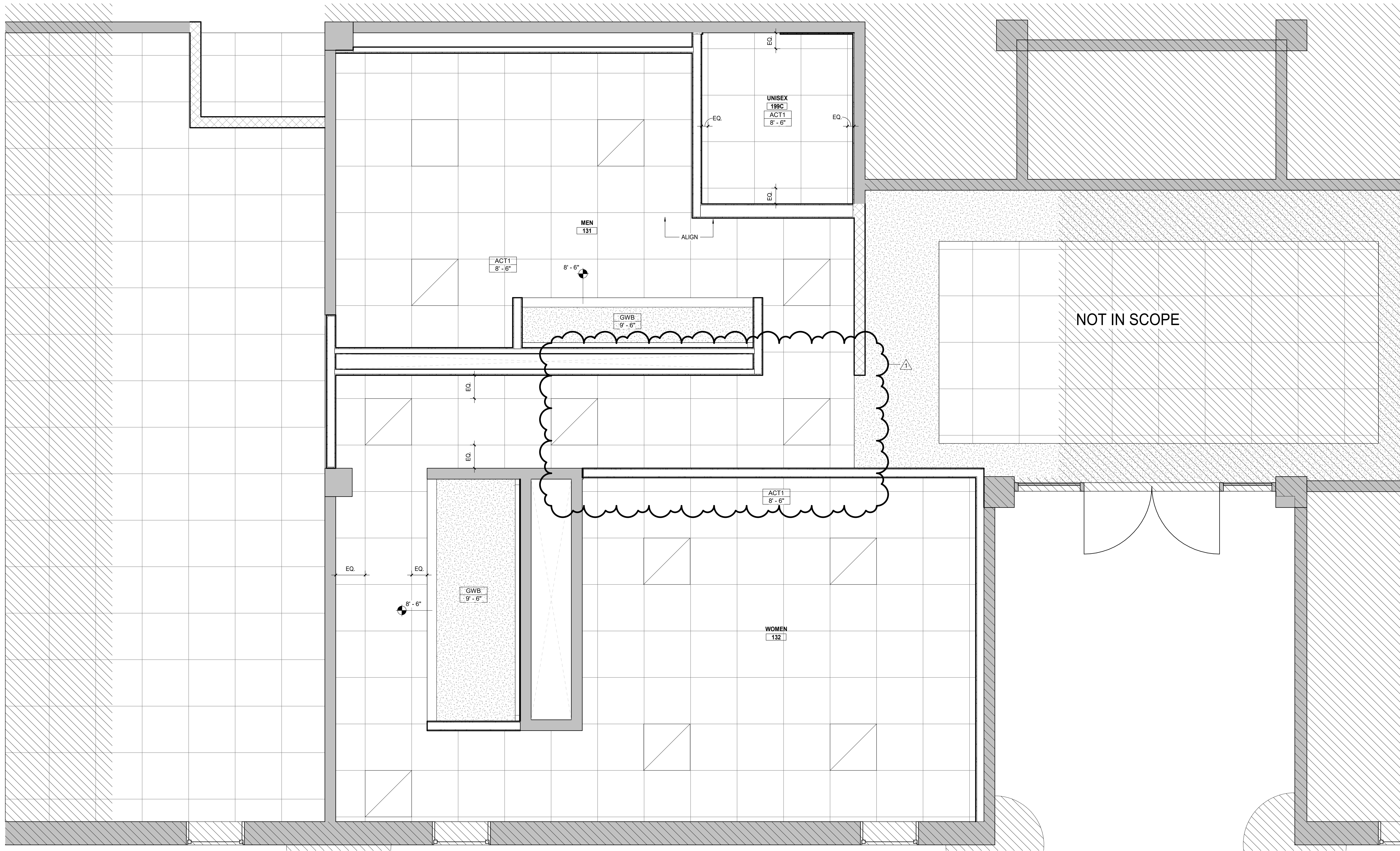
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B1 NEW RCP - FIRST FLOOR
55B-202 SCALE: 1/2" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- SHEET NOTE, SPECIFIC ITEM
- SHEET NOTE, ENTIRE ROOM
- PAINTED GYP BOARD & METAL STUD STRUCTURE
- OPEN TO STRUCTURE ABOVE
-
- INDICATED HEIGHT AFF FOR GYPSUM WALLBOARD BULKHEAD

CEILING RELATED MEP ITEMS ARE SHOWN ON REFLECTED CEILING PLAN FOR THE SOLE PURPOSE OF INDICATING THEIR RESPECTIVE LOCATIONS AND COORDINATION WITH CEILING FINISH LAYOUT. REFER TO MEP DRAWINGS FOR TYPE, SIZE AND OTHER REQUIREMENTS.

SHEET NOTES

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- JANITOR CLOSET DEMO
- DEPTH OF TOILET COMPARTMENT PARTITION TO EXTEND PAST EXISTING WINDOW.
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- INSTALL INPRO 150F FLUSH MOUNT CORNER GUARD. TO BE INSTALLED ABOVE TILE BASE TO CEILING. COLOR TO BE HAZE 0114.
- INSTALL MULLION MATES PLUS. DETERMINE APPROPRIATE MULLION MATES APPLICATION FOR INSTANCES WHERE PARTITION WALL IS AGAINST THE MULLION.
- INSTALL SCHLUTER®-FINEC FINISHING AND EDGE-PROTECTION PROFILE WITH A MINIMALIST DESIGN. FINISH TO BE SATIN ANODIZED. TYPICAL AT ALL TILE CORNERS AND VERTICAL EDGES.
- REMOVE AND DISPOSE OF EXISTING CEILING, LIGHT FIXTURES, AND MECHANICAL GRILLES. REFER TO MEP DRAWINGS.
- WIRE SHELVING PROVIDED BY OWNER.
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Job Number 497-8933
Drawn By AJW
Checked By MPS
Date 2025/01/16



FIRST FLOOR
RESTROOMS - NEW
RCP

55B-202

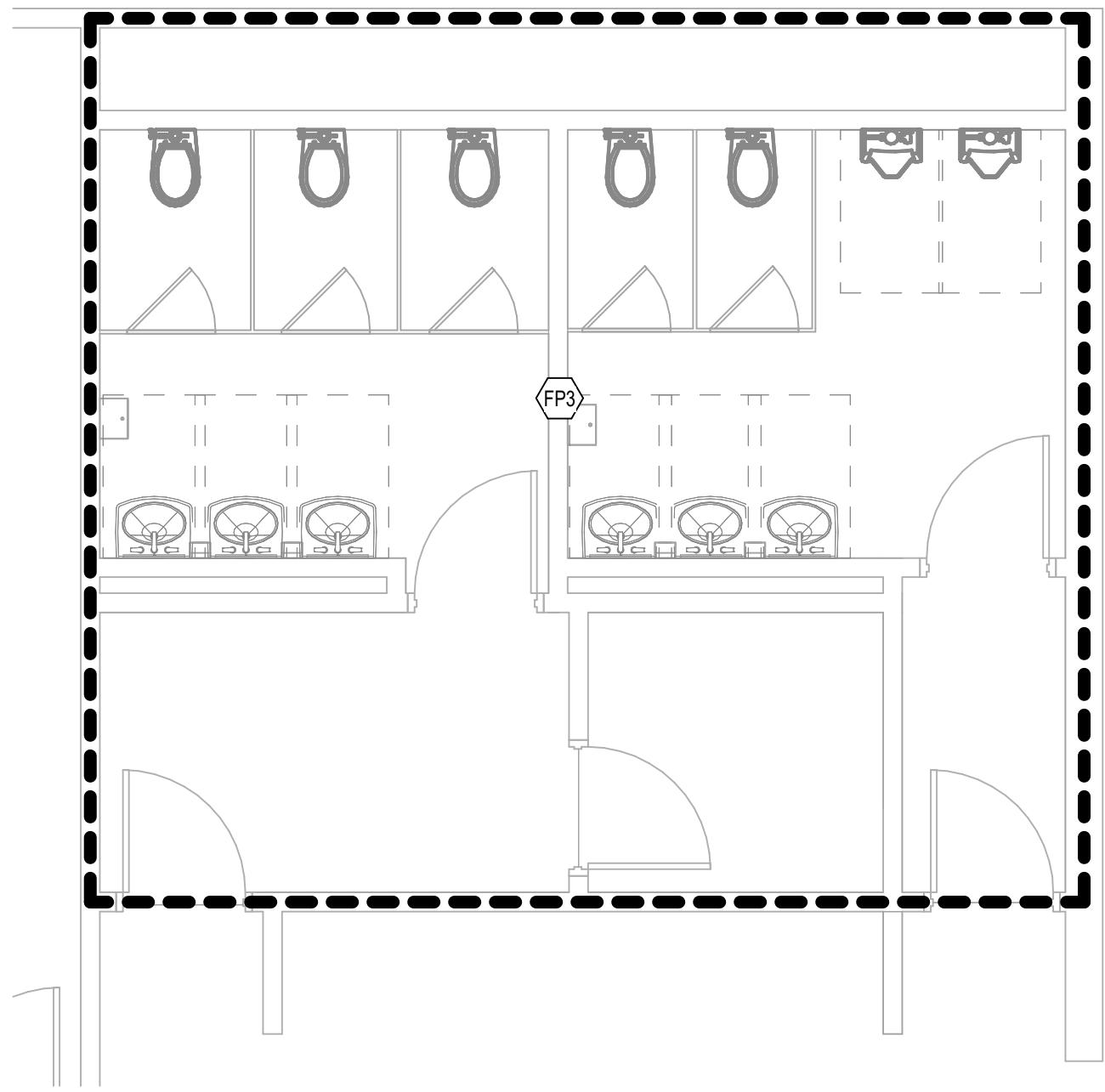
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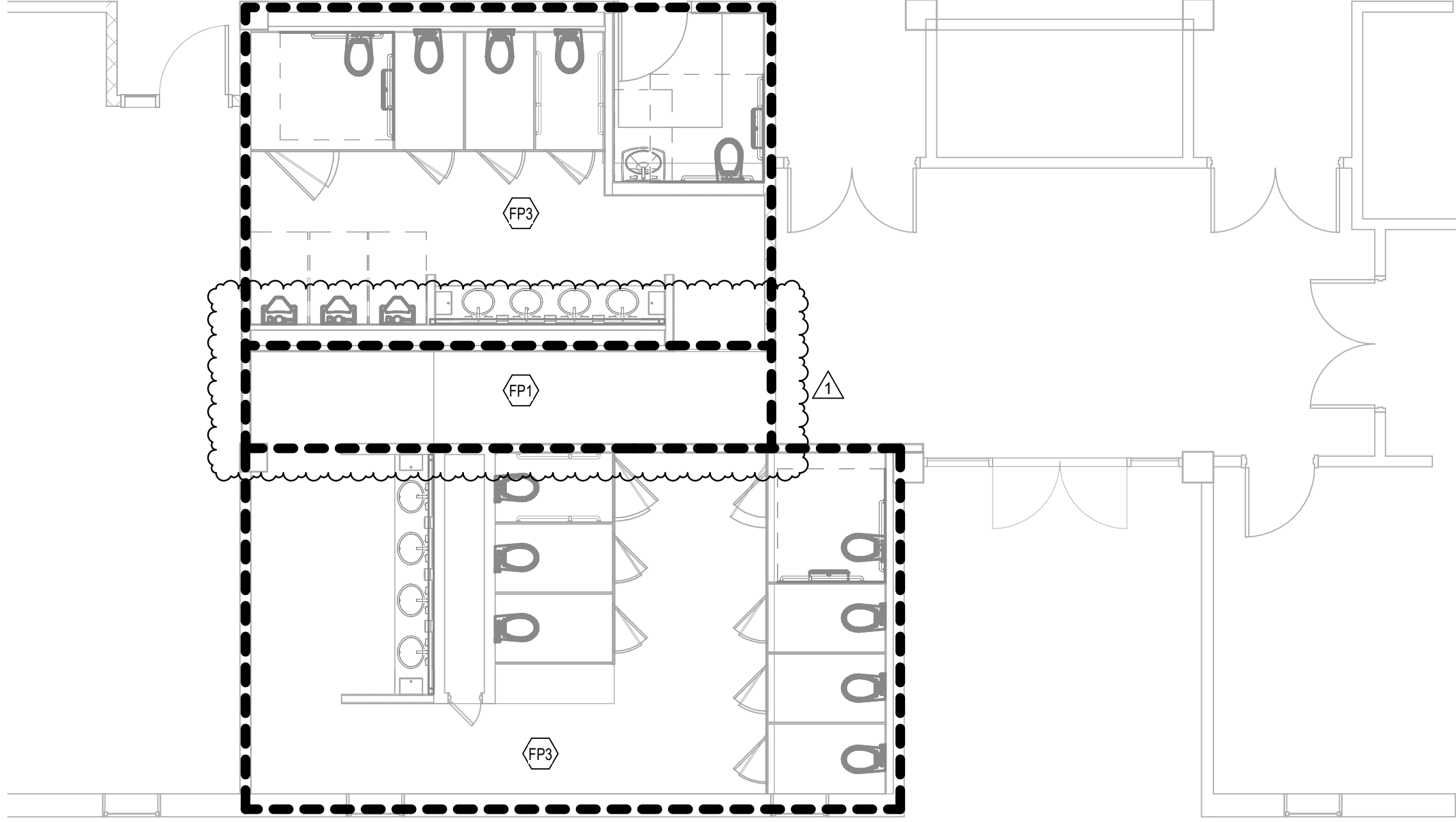
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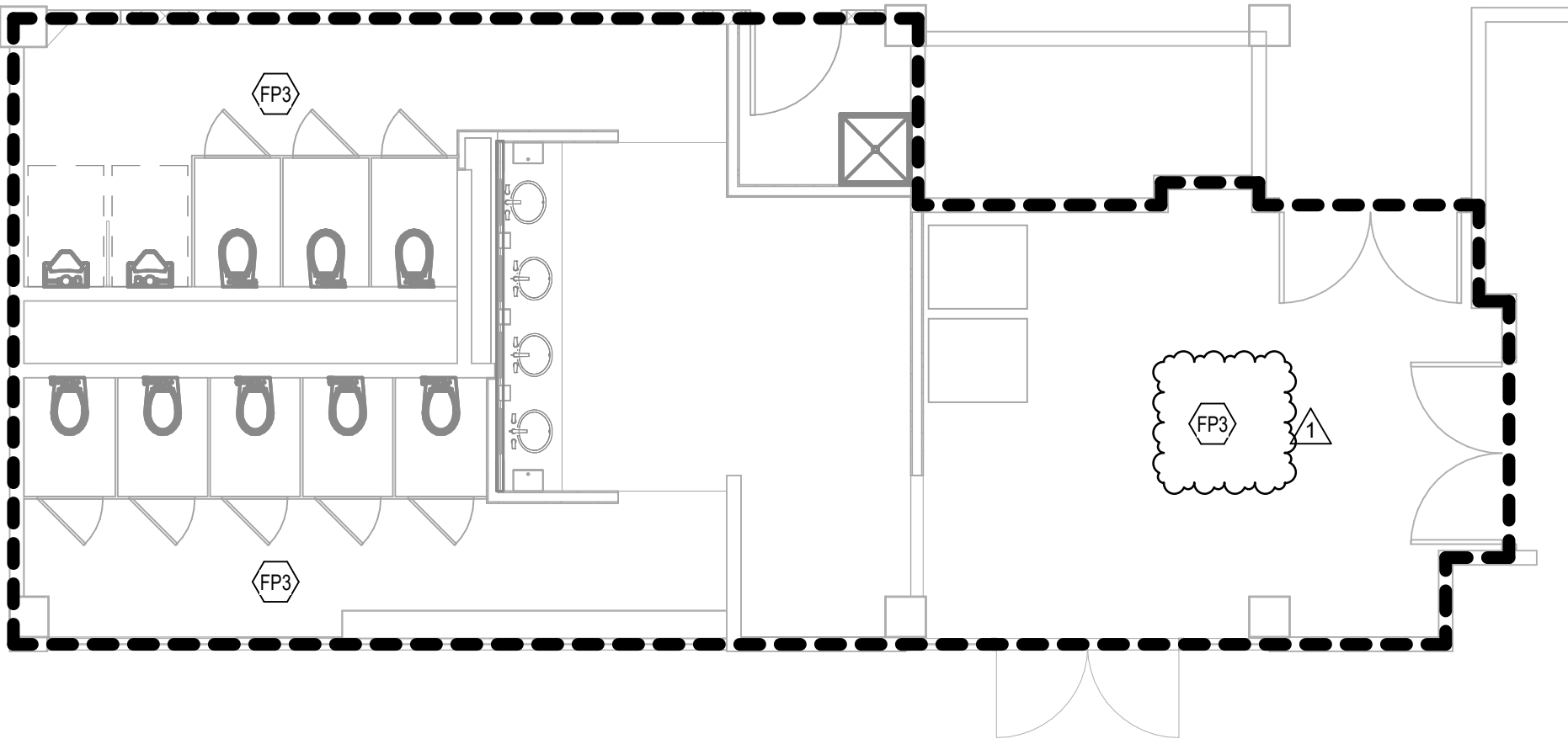
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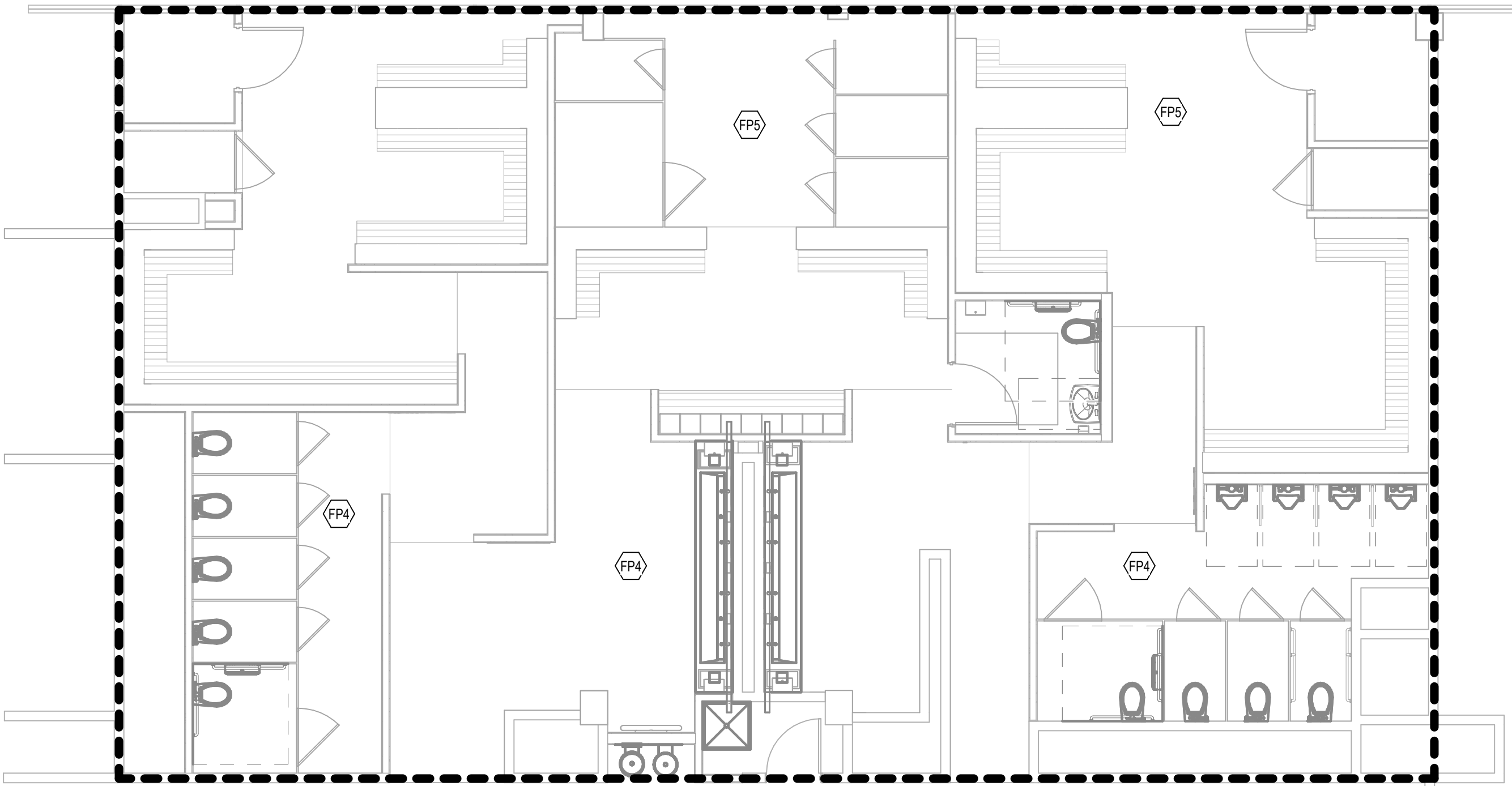
① 55B - BASEMENT RESTROOM - FIRE PROTECTION - NEW
NOT TO SCALE



② 55B - FIRST FLOOR RESTROOMS - FIRE PROTECTION NEW
3/16" = 1'-0"



④ 55B - SECOND FLOOR RESTROOMS - FIRE PROTECTION - NEW WORK
3/16" = 1'-0"



⑥ 55B - THIRD FLOOR RESTROOMS - FIRE PROTECTION - NEW WORK
3/16" = 1'-0"

KEYNOTES

- FP1 FIRE PROTECTION CONTRACTOR SHALL REWORK EXISTING FIRE PROTECTION BRANCH PIPING AND SPRINKLER HEADS IN OUTLINED AREA AS REQUIRED TO ACCOMMODATE NEW CEILINGS. COORDINATE NEW SPRINKLER HEAD LOCATIONS WITH NEW LIGHTS, DIFFUSERS, RETURN GRILLES, ETC. IN ACCORDANCE WITH NFPA 13, NFPA 14, AND ALL APPLICABLE STATE AND LOCAL CODES.
- FP3 THIS AREA IS NOT SPRINKLERED, NO SCOPE.
- FP4 THIS AREA IS CURRENTLY NOT SPRINKLERED. FIRE PROTECTION CONTRACTOR SHALL EXTEND BRANCH PIPING FROM FIRE PROTECTION MAIN TO THIS AREA AND PROVIDE BRANCH PIPING AND SPRINKLER HEADS AS REQUIRED TO ACCOMMODATE NEW CEILINGS. COORDINATE SPRINKLER HEAD LOCATIONS WITH NEW LIGHTS, DIFFUSERS, RETURN GRILLES, ETC. IN ACCORDANCE WITH NFPA 13, NFPA 14, AND ALL APPLICABLE STATE AND LOCAL CODES.
- FP5 THIS AREA CURRENTLY HAS SPRINKLER HEAD PIPING STUBBED INTO THE SPACE BUT NO SPRINKLER HEAD. REWORK BRANCH PIPING AS REQUIRED TO ACCOMMODATE NEW CEILINGS, AND PROVIDE NEW SPRINKLERS HEADS.

UofL HSC
RESTROOM
RENOVATIONS

CONSTRUCTION
DOCUMENTS

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#	DATE	DESCRIPTION
1	1/20/25	ADDENDUM 1



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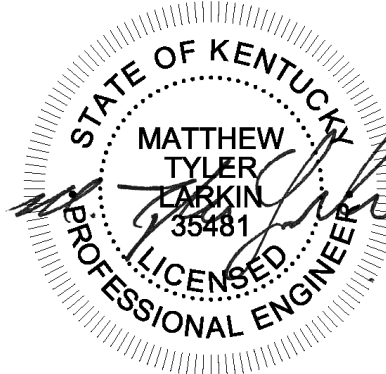
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Job Number VLHC24
Drawn By NMV/HEM
Checked By MTL
Date 2024/12/18



ENLARGED
RESTROOM PLANS

55B-FP101

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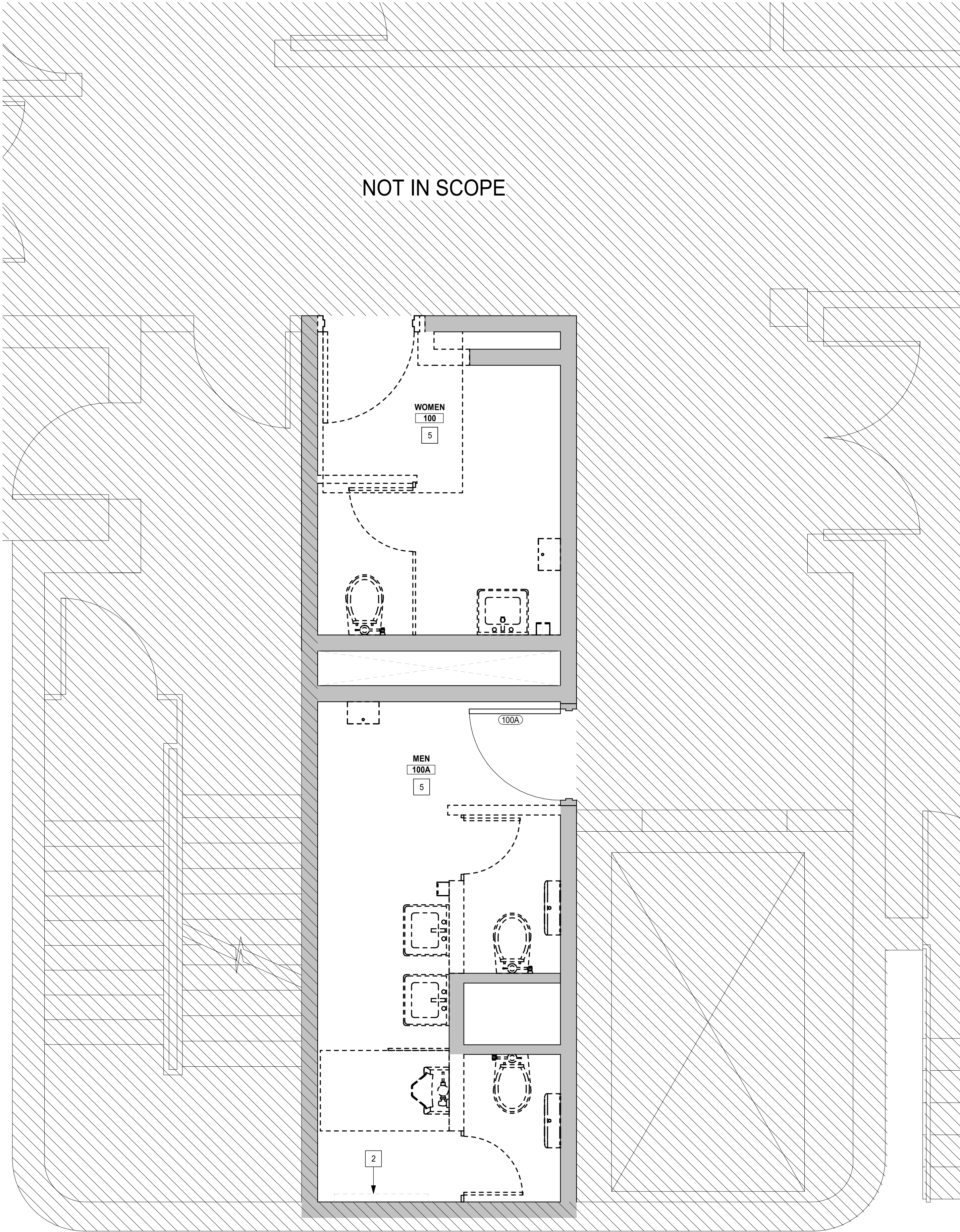
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Date 2025/01/16

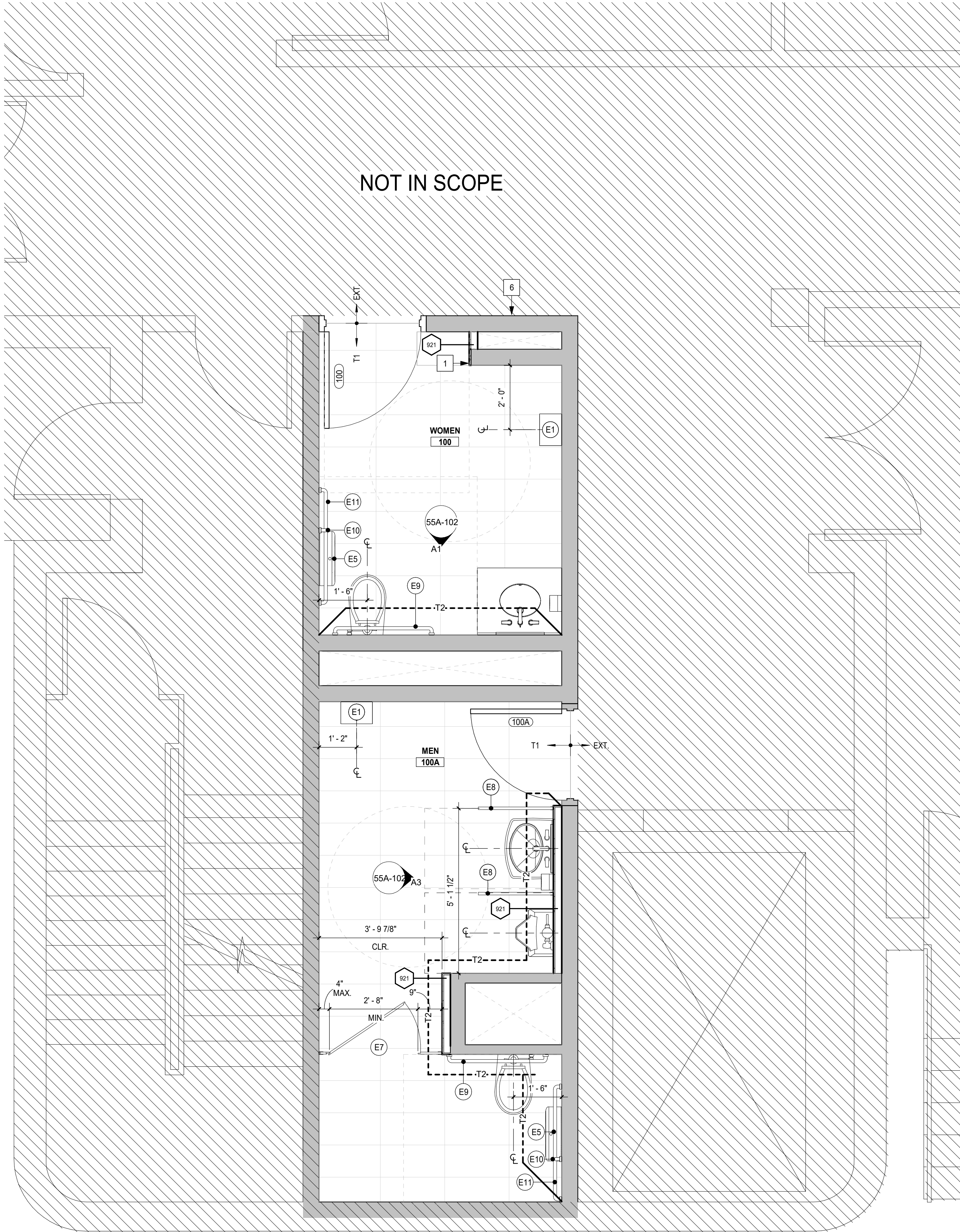
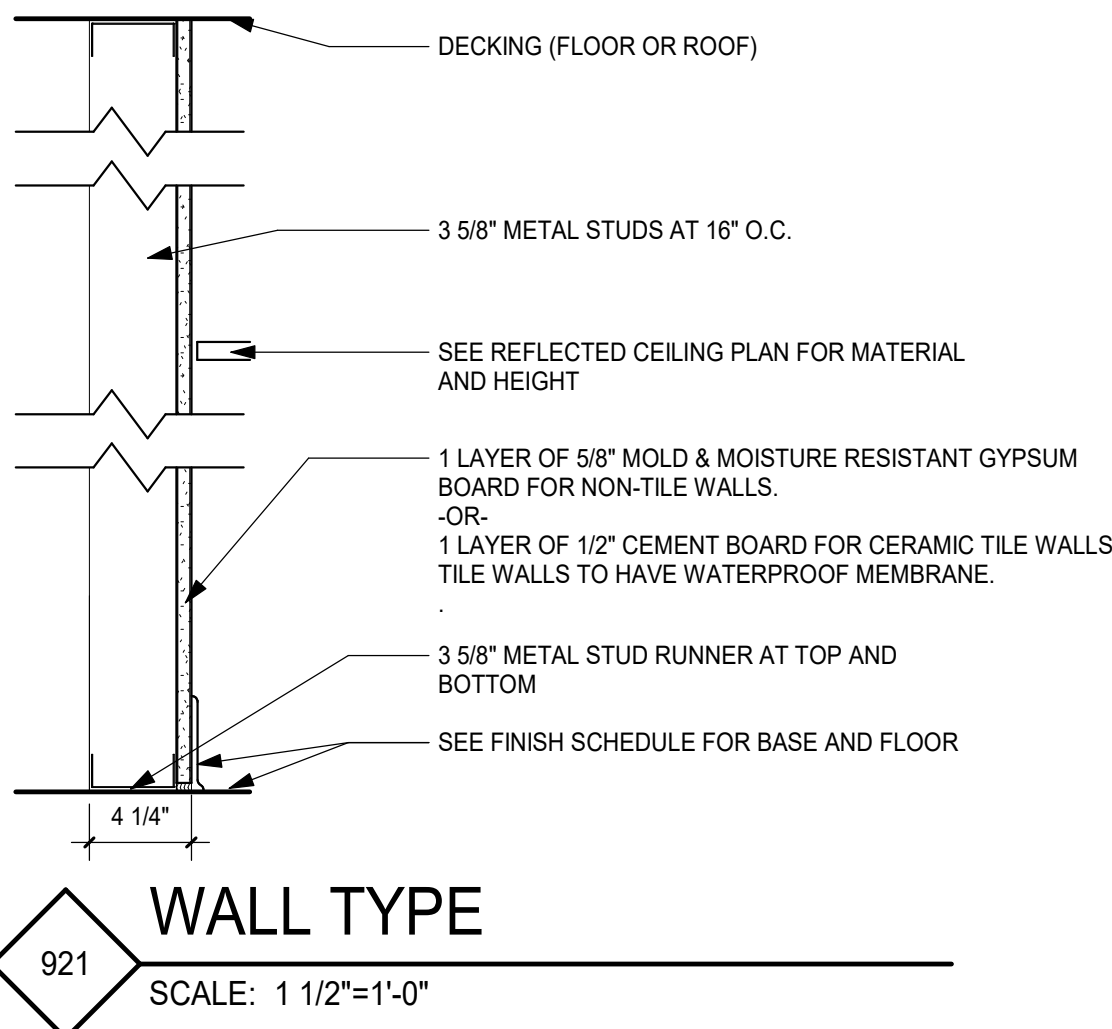


FIRST FLOOR
RESTROOMS -
ENLARGED PLANS

55A-101



D3 DEMO FLOOR PLAN - FIRST FLOOR
55A-101 SCALE: 1/2" = 1'-0"



D5 NEW FLOOR PLAN - FIRST FLOOR
55A-101 SCALE: 1/2" = 1'-0"

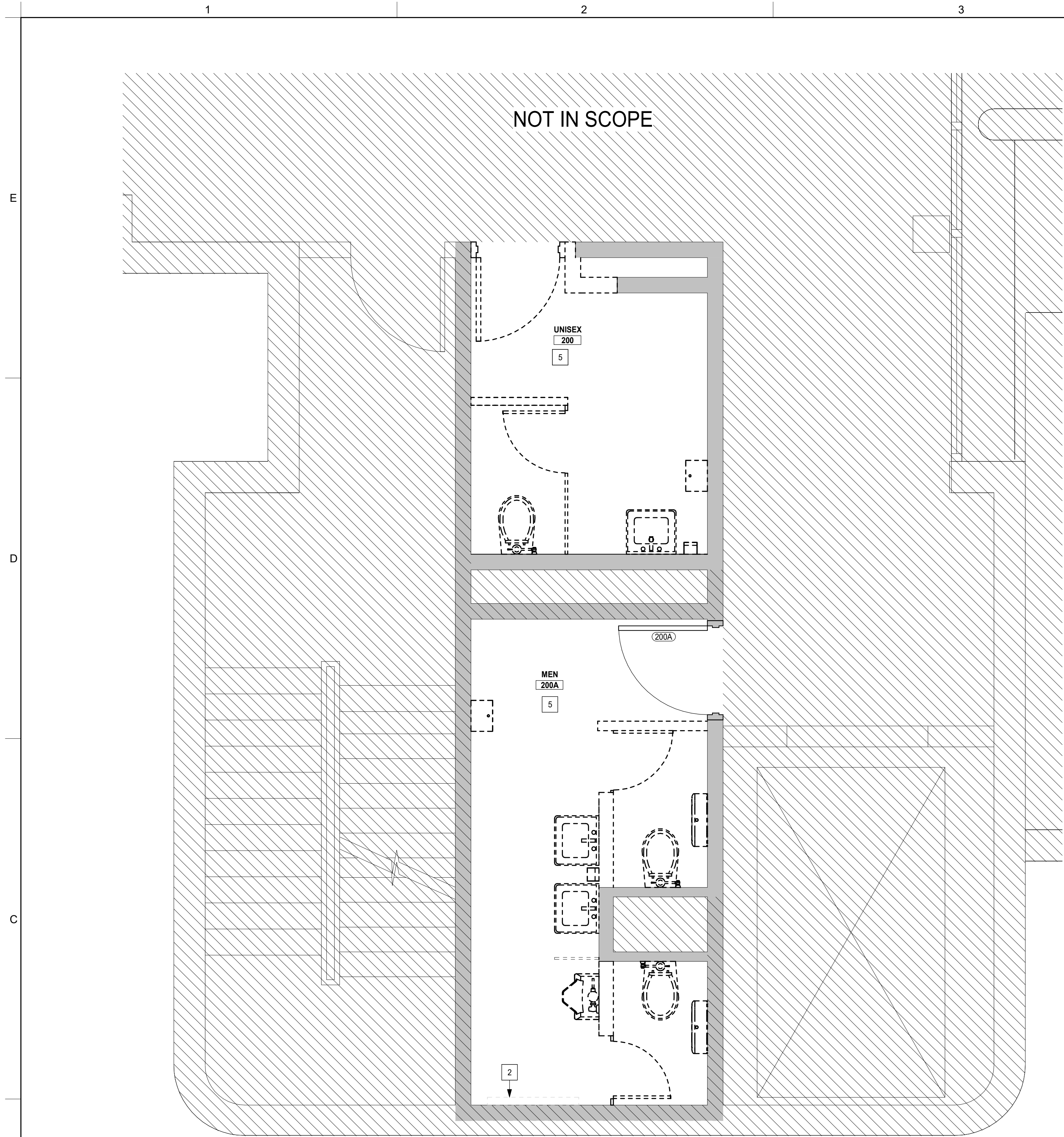
PLAN LEGEND

- # DENOTES TO DEMOLISH ALL SPECIFIC ITEMS WITHIN THE ROOM, CORRIDOR, OR SPACE.
- INDICATES ITEM TO BE DEMOLISHED
- ## WALL TYPE TAG
- # SHEET NOTE, SPECIFIC ITEM
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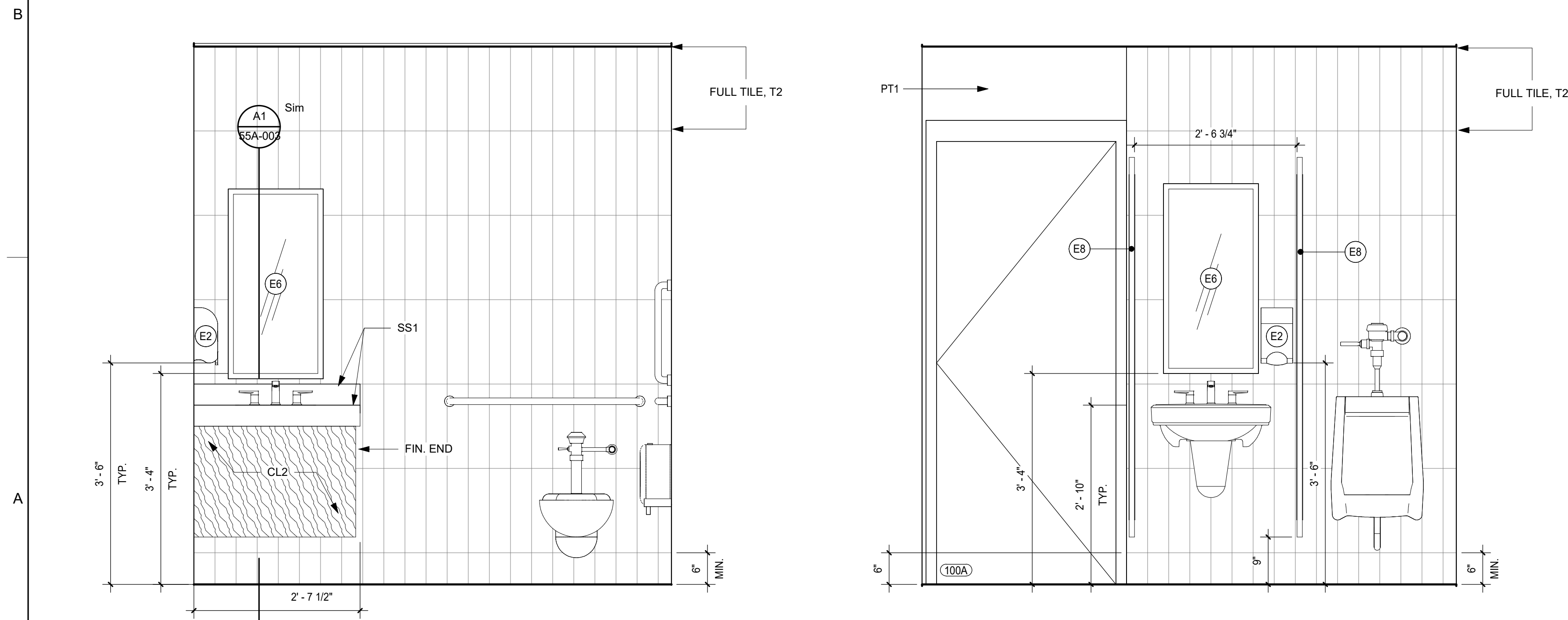
SHEET NOTES X

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- CUT CMU IN PREPARATION FOR NEW CONSTRUCTION. OPENING TO BE 0'(H) x 4'(W). REFER TO DRAWINGS.
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- REMOVE AND DISPOSE OF EXISTING CERAMIC / PORCELAIN TILE.
- EXISTING FIBERGLASS CARPET
- INSTALL SCHLUTER® FINEC FINISHING AND EDGE-PROTECTION PROFILE WITH A MINIMALIST DESIGN. FINISH TO BE SATIN ANODIZED, TYPICAL AT ALL TILE CORNERS AND VERTICAL EDGES.

11/7/2025 2:44:14 PM

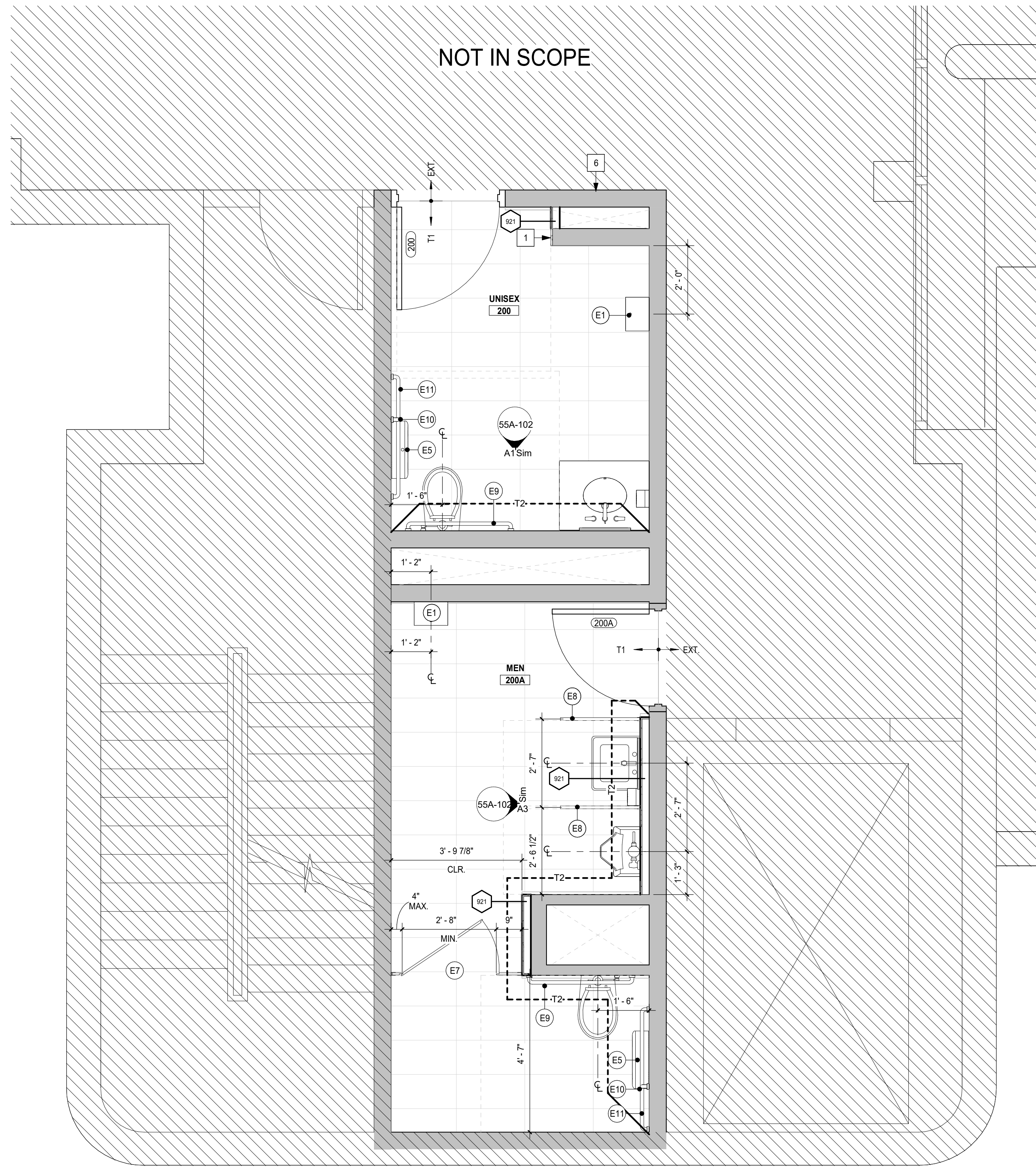


B1 DEMO FLOOR PLAN - SECOND FLOOR
55A-102 SCALE: 1/2" = 1'-0"



A1 INTERIOR ELEVATION @ WOMENS & UNISEX RR - TYPICAL
55A-102 SCALE: 3/4" = 1'-0"

A3 INTERIOR ELEVATION @ MENS RR - TYPICAL
55A-102 SCALE: 3/4" = 1'-0"



B4 NEW FLOOR PLAN - SECOND FLOOR
55A-102 SCALE: 1/2" = 1'-0"

PLAN LEGEND

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- REMOVE AND DISPOSE OF EXISTING CERAMIC / PORCELAIN TILE.
- INSTALL FINEST GROUT.
- INSTALL SCHLUTER®-FINEC FINISHING AND EDGE-PROTECTION PROFILE WITH A MINIMALIST DESIGN. FINISH TO BE SATIN ANODIZED. TYPICAL AT ALL TILE CORNERS AND VERTICAL EDGES

UofL HSC RESTROOM RENOVATIONS

CONSTRUCTION DOCUMENTS

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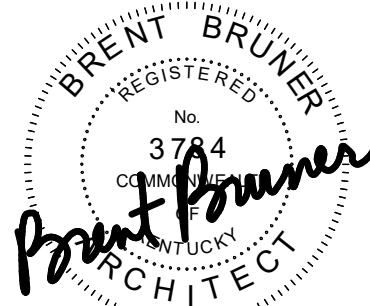
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SECOND FLOOR
RESTROOMS -
ENLARGED PLANS

55A-102

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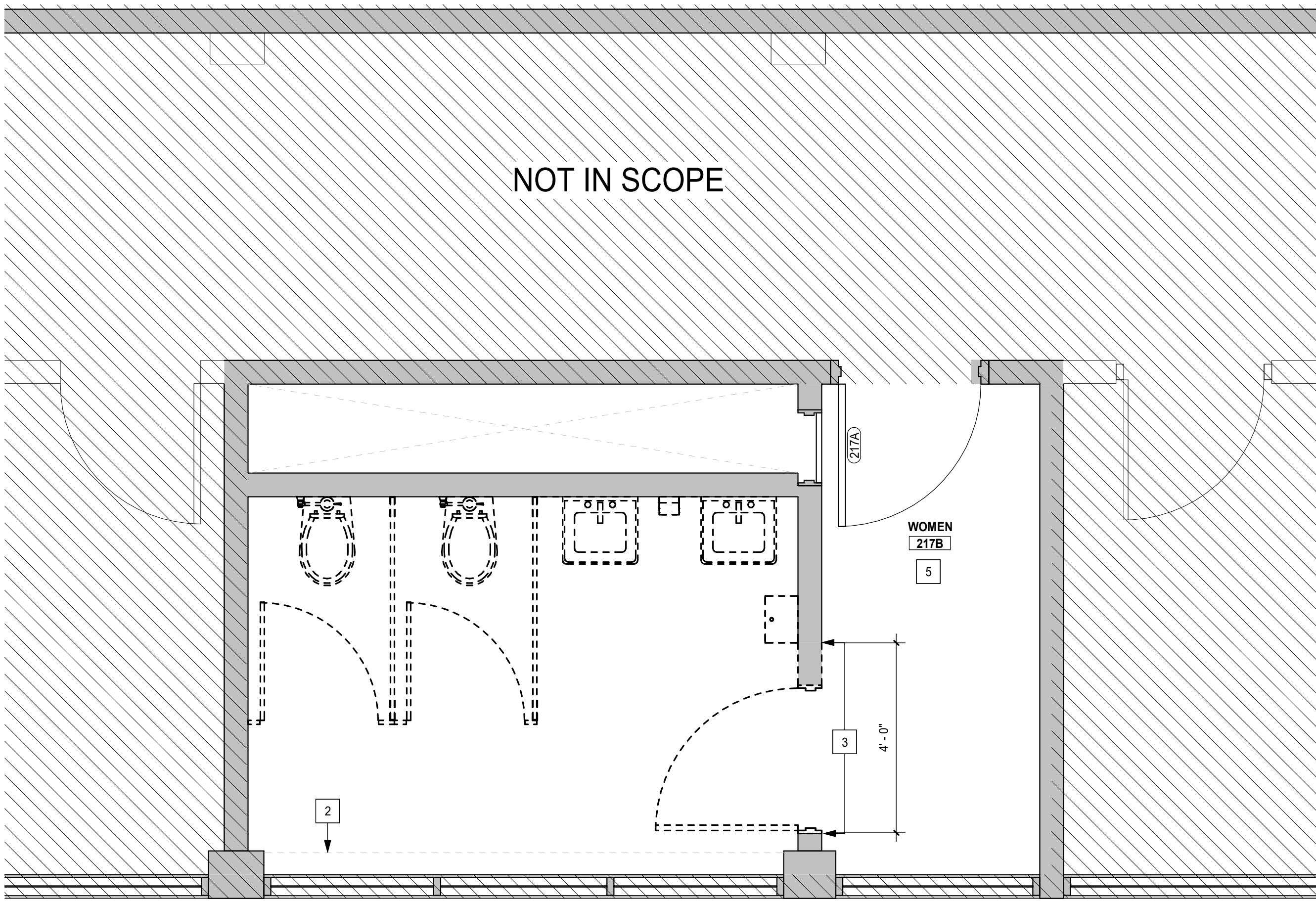
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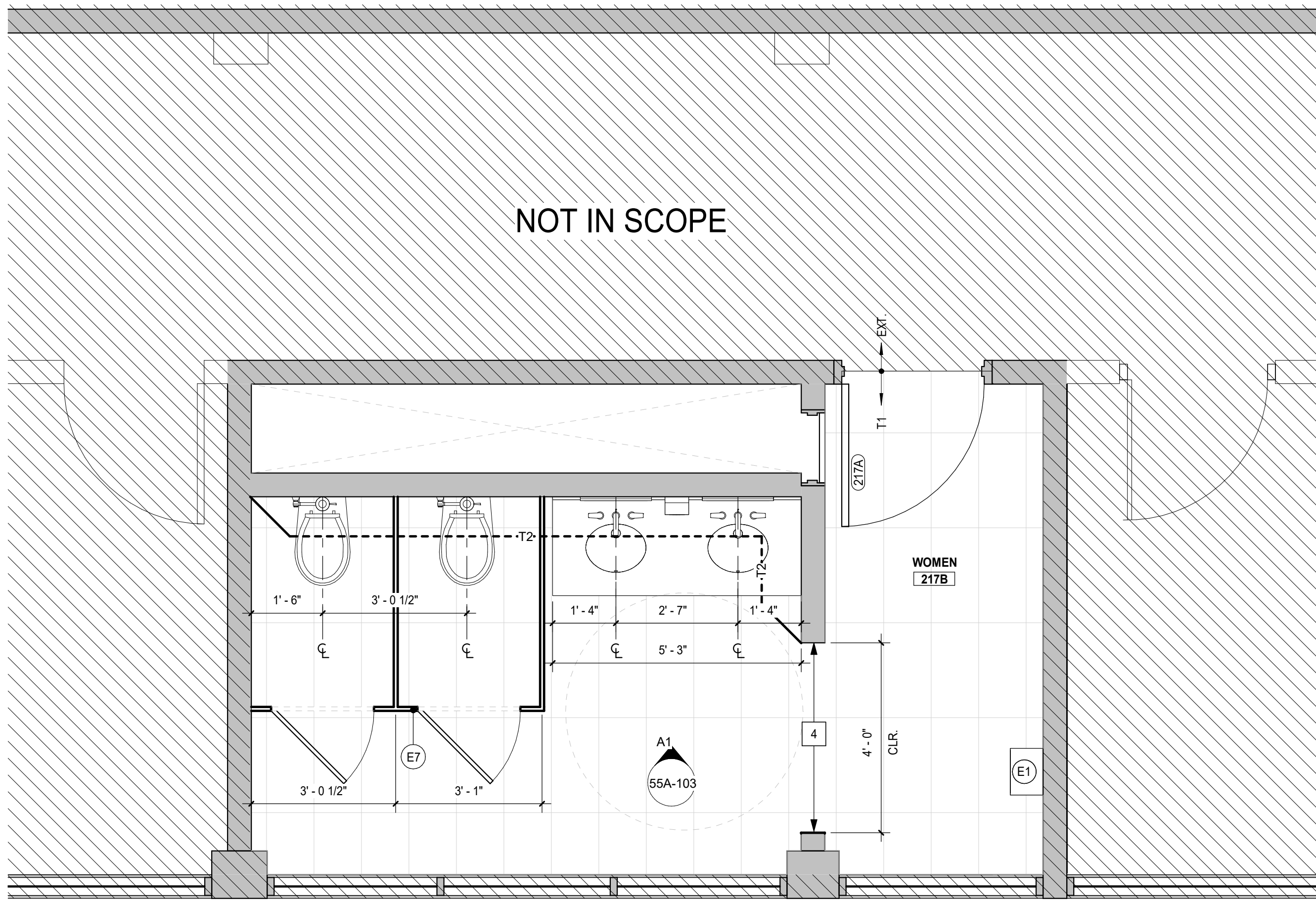


SECOND FLOOR
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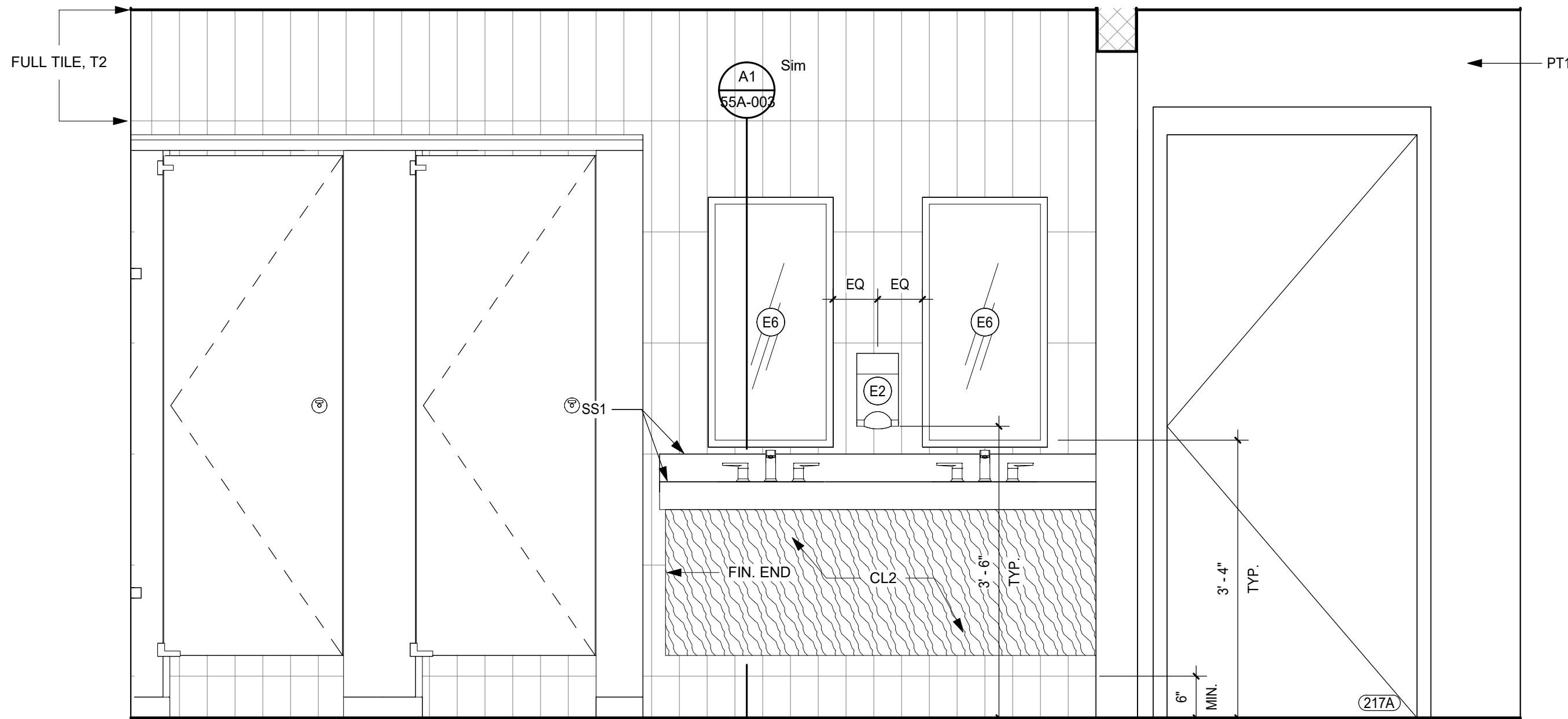
55A-103



C1 DEMO FLOOR PLAN - SECOND FLOOR
55A-103 SCALE: 1/2" = 1'-0"



C4 NEW FLOOR PLAN - SECOND FLOOR
55A-103 SCALE: 1/2" = 1'-0"



A1 INTERIOR ELEVATION @ WOMENS RR
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SHEET NOTES X

- ADHERE 5/8" GYPSUM WALLBOARD TO BE FLUSH WITH NEW WALL.
- FLOOR HEAT RADIATOR, REFER TO MEP FOR SCOPE UPDATES
- CUT CMU IN PREPARATION FOR NEW CONSTRUCTION. OPENING TO BE 0'(H) x 4'(W). REFER TO DRAWINGS.
- EXTEND LIMITS OF CMU DEMOLITION TO ACCOMMODATE A NEW BULLNOSE CMU AT NEW OPENING. FINAL DIMENSIONS TO COORDINATE WITH SCOPE SHOWN ON NEW FLOOR PLANS.
- REMOVE AND DISPOSE OF EXISTING CERAMIC / PORCELAIN TILE.
- EXISTING FIRE HOSE CABINET
- INSTALL SCHLUTERS FINEC FINISHING AND EDGE-PROTECTION PROFILE WITH A MINIMALIST DESIGN. FINISH TO BE SATIN ANODIZED. TYPICAL AT ALL TILE CORNERS AND VERTICAL EDGES.