

The Park Du Valle
□ Pattern Book □

PHASE II DRAFT

JUNE 1997

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Aerial perspective of the new Park DuValle neighborhood

The New Park DuValle Neighborhood

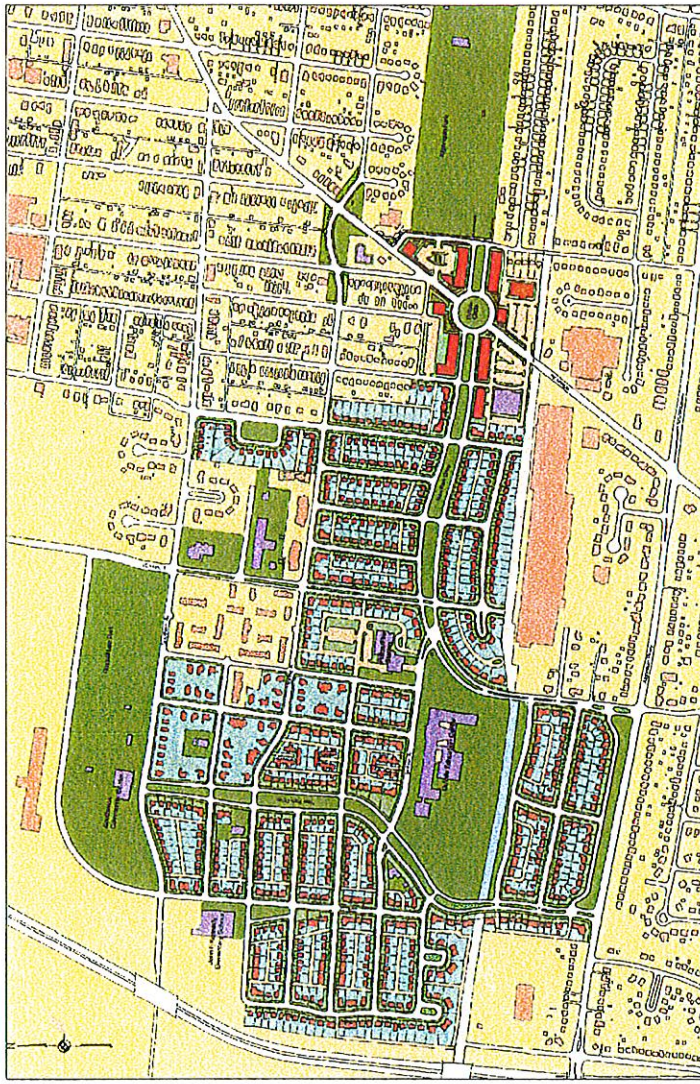
The new neighborhood is designed to become a mixed-income, mixed use, compact and pedestrian friendly community with many activities of daily life within walking distance.

It includes a wide range of housing types and a sequence of public open spaces and parks linking the parts of the neighborhood together and to nearby amenities such as Algonquin Park. A new front door for the entire neighborhood will be established with single family houses along Algonquin Parkway and at several points along Wilson Avenue. Within the neighborhood are a series of institutions

and community facilities, including a Village Green. Lined with buildings that combine public uses, retail shops, and residential uses, it will become a new heart for the neighborhood.

There are several neighborhoods within the overall neighborhood, each with its own character.

The system of parks and parkways provide appropriate settings for civic and religious buildings that will be reinforced as anchors for the community.



The Plan as Framework

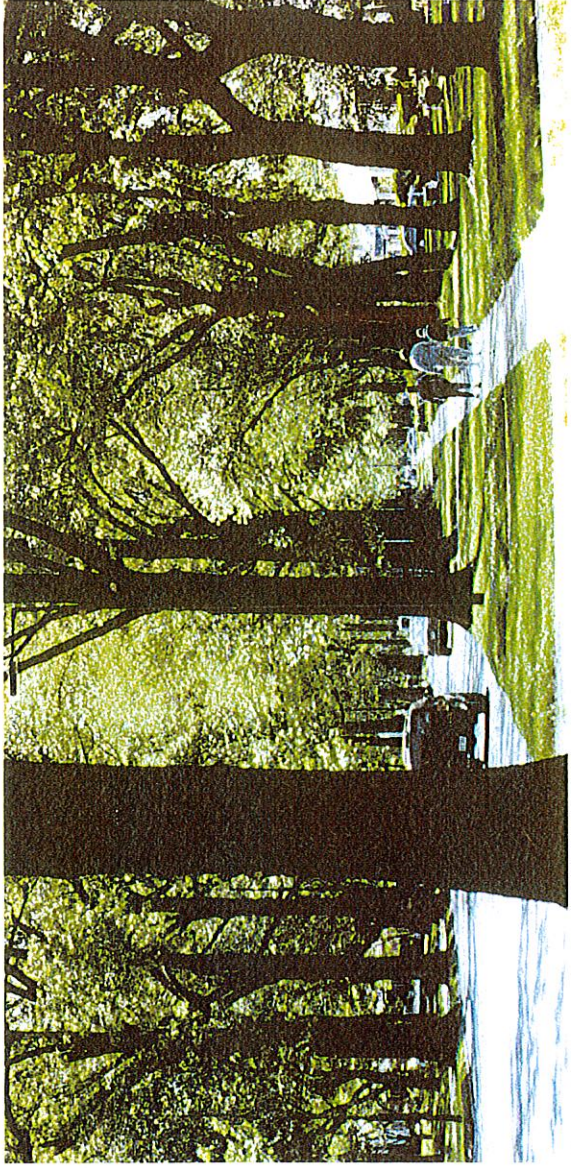
The plan provides an interconnected network of streets and public open space. They define blocks within which a wide variety of individual lot types are accommodated. Placement of alleys and front yard setbacks are fixed but can accommodate lots of varying widths. The plan will be developed over time, in market conditions which may change. Therefore, the flexible system of blocks provides the capacity to respond to changing conditions.

However, in order to create marketable, mixed income development, it is essential to create a series of attractive addresses, each with its own character. The plan calls for developing such addresses by following Louisville's great traditions of neighborhood development. The architecture of individual houses and the image of Park DuValle's public spaces should recall the best and most stable of the City's neighborhoods.

Research in preparing this Pattern Book identified a number of well known residential 'addresses' in the City, which have served as models for the guidelines. Three of them are illustrated on the following pages: Old Louisville, Olmsted's Parkway designs, and the Cherokee Triangle area.

The plan indicates in pale green the portion of the overall plan which will be developed in Phase II and for which this Pattern Book has been developed.

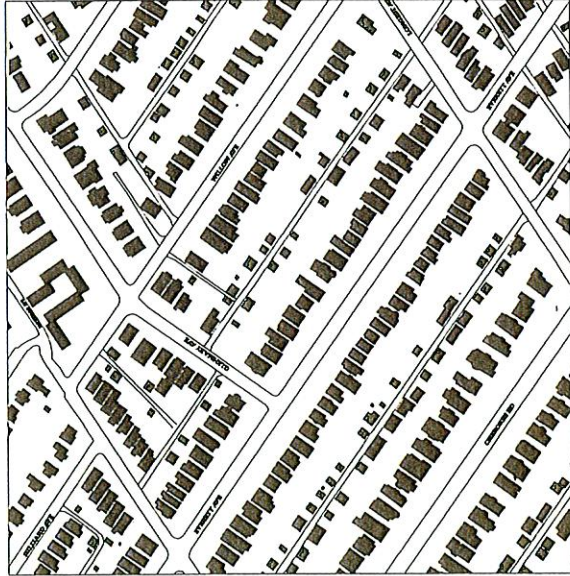
INTRODUCTION



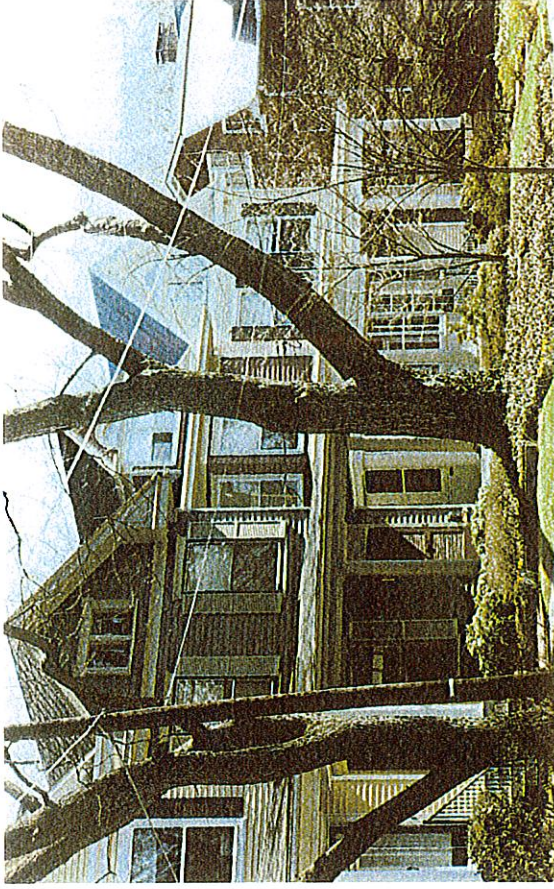
Olmsted & Parkways

The Parkways form an armature of green space linking the City's three major parks.





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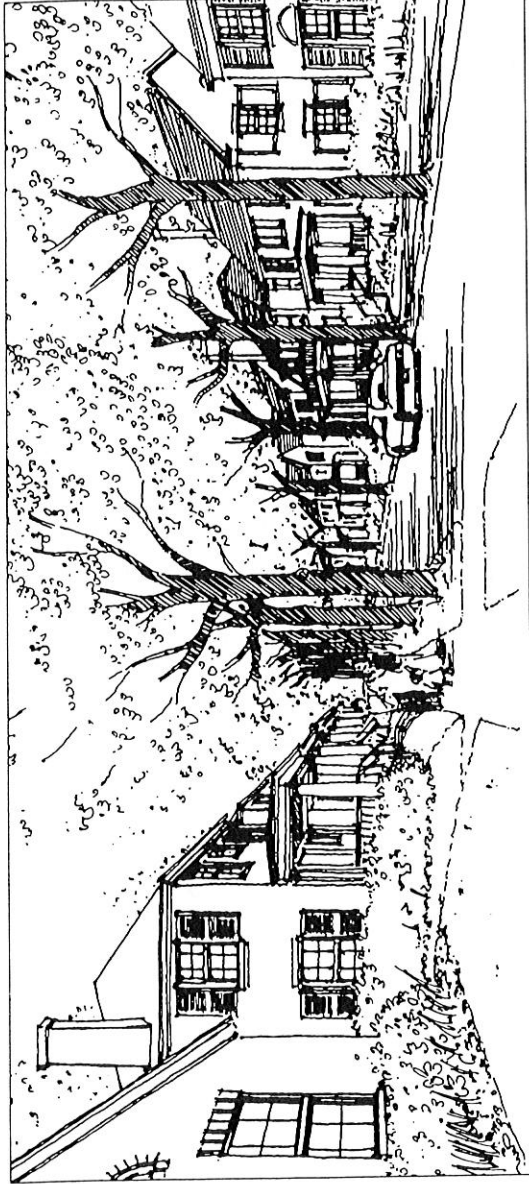


Cherokee Triangle, Crescent Hill and The Highlands

The establishment of Cherokee, Iroquois, and Shawnee Parks at the turn of the century provided an attractive setting for the development of new 'suburban' neighborhoods. Built largely between 1890 and 1930, Cherokee Triangle, Crescent Hill, and the Highlands neighborhoods most clearly express the influence of Olmstedian design principles in their picturesque street layout and expanses of community green space.



Section through Edgeland Avenue



The Park DuValle Pattern Book

The Park DuValle Pattern Book contains design guidelines for both community character and architectural character. The second section, *Community Patterns*, describes the general principles for placing houses on their lots as well as specific principles for lots within the different neighborhoods. These principles include setbacks, overall massing of the house, locations for fences and ancillary structures and access from driveways or alleys. The third section, *Architectural Patterns*, describes the palette of architectural styles for Park DuValle and includes guidelines for designing the parts of the house that are visible from a street or public space.

Once a lot has been selected, the guidelines for placing the house on the lot can be determined by turning to the page that describes the general conditions for the lot type and then the page that describes the particular neighborhood in which the lot is located. For instance, if you decided to build a Victorian house on a Cottage Lot along Von Spiegel Avenue, you would first turn to page 8 to determine the general setbacks and width of the house. You would then turn to page 18 to determine what specific variations or additional site guidelines might apply.

The specific house design would then be developed or selected in accordance with the Victorian style described in the Architectural Patterns section.

Community

Patterns






Lot Types

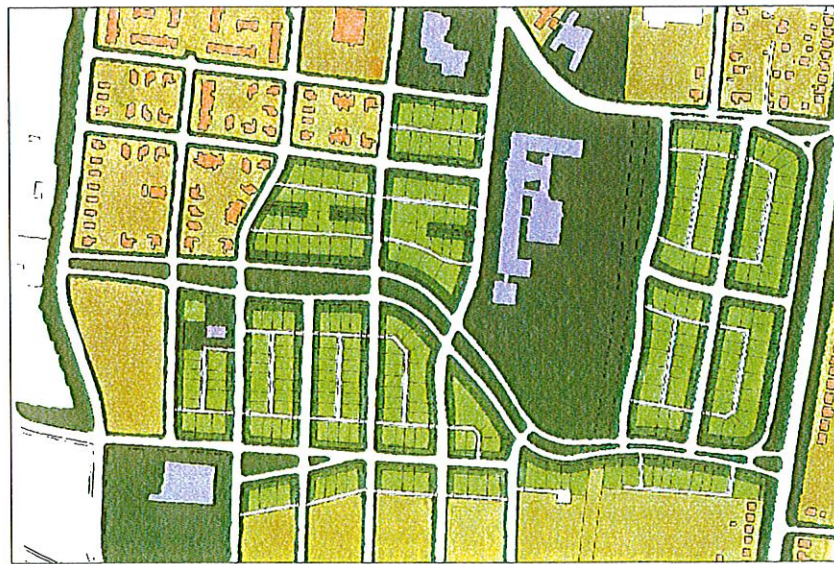
The block patterns include guidelines which establish set-backs for each lot. The plan calls for mixing lot types within each block as a means of replicating the character of Louisville's traditional neighborhoods. Therefore, in any given block there could be a combination of all five of the lot types described on the following page. Common to all lot types are the set-back lines, yard requirements and principles for placing buildings on them.

- The lot types include:
- 35 ft & 40 ft wide Cottage Lots
- 60 ft wide Neighborhood Lots
- 70 ft wide Estate Lots
- 100 ft wide Commons Lots
- Patio Lots

On the following pages the general principles for placing buildings and landscaping on these lot types are described. Then on successive pages, each of the addresses in the Phase II plan are described with more specific guidelines for lots along them. The addresses include: Algonquin Parkway, Park Drive, typical Local Neighborhood Streets, and typical Community Streets.

Lot Types Key

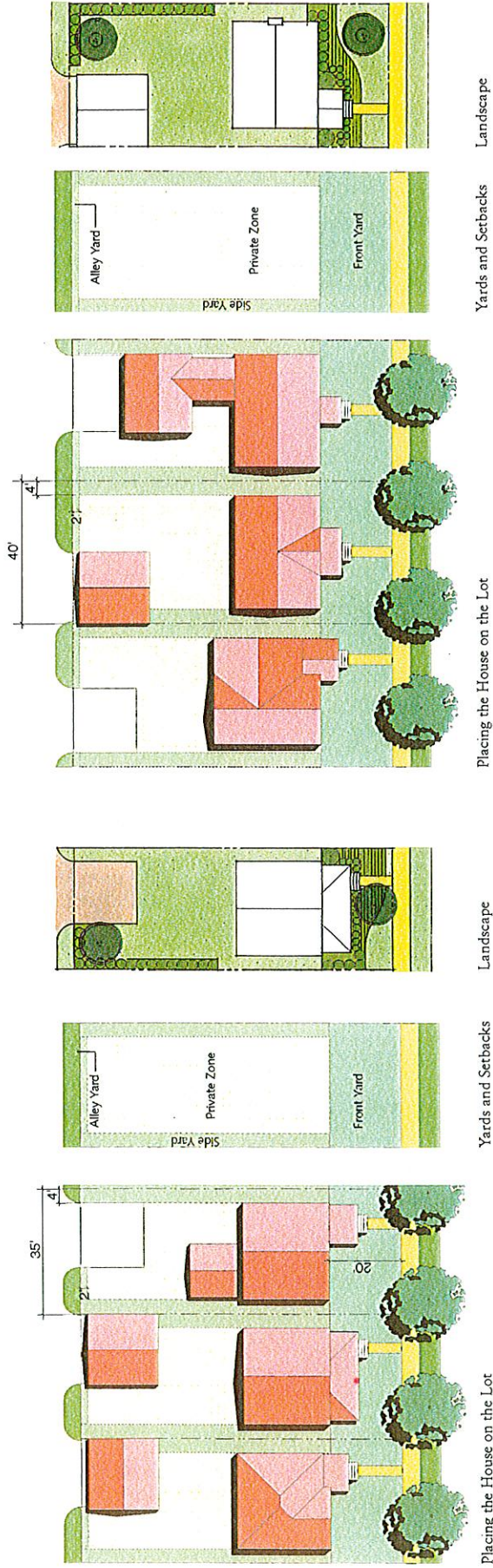
	Commons Lots
	Estate Lots
	Neighborhood Lots
	Cottage Lots
	Patio Lots



Phase II Lot Plan



Phase II Lot Types Plan

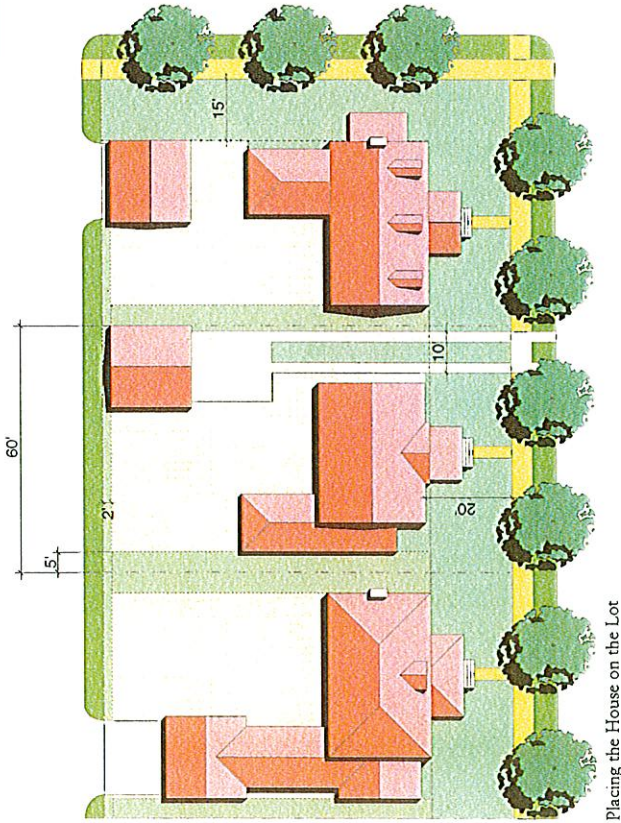


35 ft & 40 ft Cottage Lots

35 foot wide Cottage Lots are designed for single family detached houses with a 24 to 27 foot Main Body.
 40 foot wide cottage lots are designed for single family detached houses with a 28 to 32 foot Main Body.
 Front Facade Setback: 20 feet from front property line except where noted in the Addresses section.
 Side Yard Setback for adjacent lots and side alleys: 4 feet.

Cottage Lot Landscape

In addition to the general landscape guidelines, one small ornamental tree shall be planted in the Front Yard; a minimum of one large ornamental or canopy tree shall be planted elsewhere on the lot. Lawn areas shall not exceed fifty percent of the total lot area.



Placing the House on the Lot

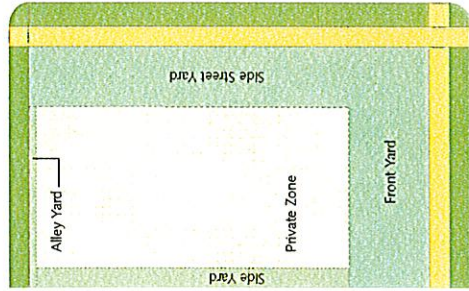
Neighborhood Lots

The 60 foot wide Neighborhood Lots are designed for large single family detached houses with a 32 to 40 foot Main Body. These can be mid-block or corner locations.

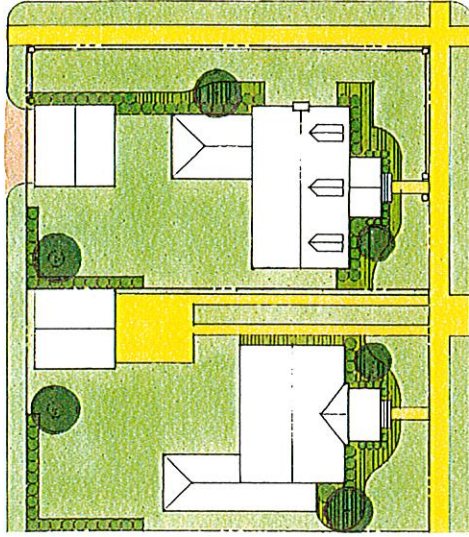
Front Facade Setback: 20 feet from the front property line except where noted in the *Addresses* section.

Side Street Facade Setback: 15 feet from the side street property line except where noted in the *Addresses* section.

Side Yard Setback for adjacent lots and side alleys: 5 feet.



Yards and Setbacks



Landscape

Neighborhood Lot Landscape

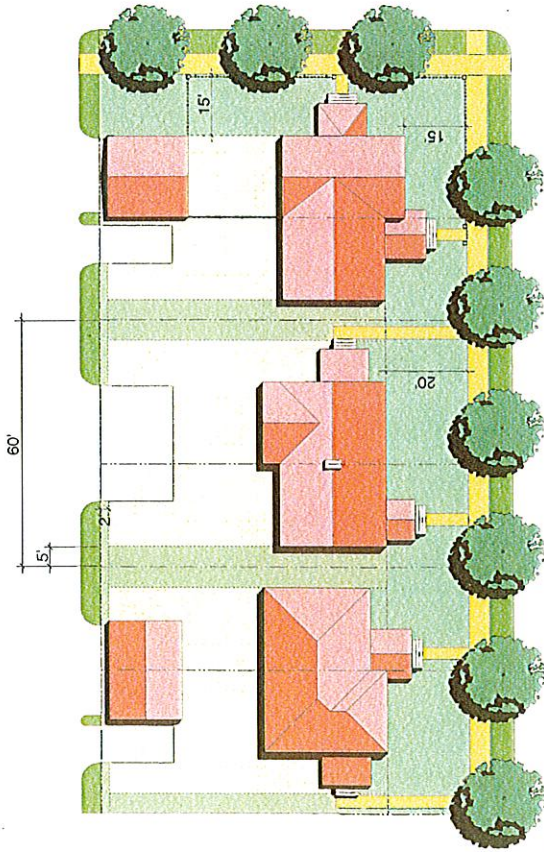
In addition to the general landscape guidelines, a minimum of one small ornamental tree and two large ornamental or canopy trees shall be planted. Lawn areas shall not exceed fifty percent of the total lot area.

Alley Setback: 2 feet from the rear property line.

Front Driveways are not permitted except where noted in the *Addresses* section.

Porches may extend a maximum of 9 feet into the front or side yards.

Garages can be placed at either the Alley Setback or a minimum of 18 feet from the rear property line. If placed on the Alley Setback, garages are permitted to be built on the property line between adjacent lots. A garage is required for all corner lots, and shall be placed at the Side Street Setback.



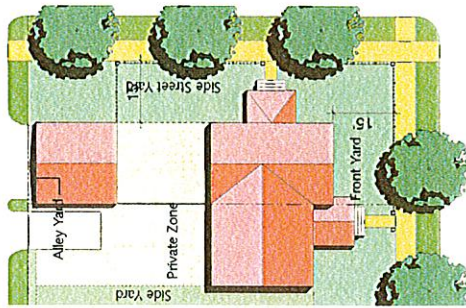
Placing the House on the Lot

Neighborhood Lots - Duplexes

The 60 foot wide Neighborhood Lots are also designed for two family semi-detached houses with a 40 to 42 foot Main Body. These can be mid-block or corner locations.

Front Facade Setback: 20 feet from the front property line except where noted in the *Addresses* section. On corner lots, the corner unit of a duplex may extend a maximum of 5 feet into the front yard.

Side Street Facade Setback: 15 feet from the side street property line except where noted in the *Addresses* section.



Yards and Setbacks

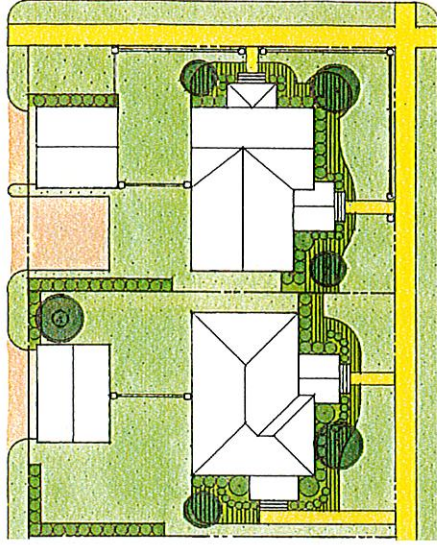
Side Yard Setback for adjacent lots and side alleys: 5 feet.

Alley Setback: 2 feet from the rear property line.

Front Driveways are not permitted.

Porches may extend a maximum of 9 feet into the front or side street yards.

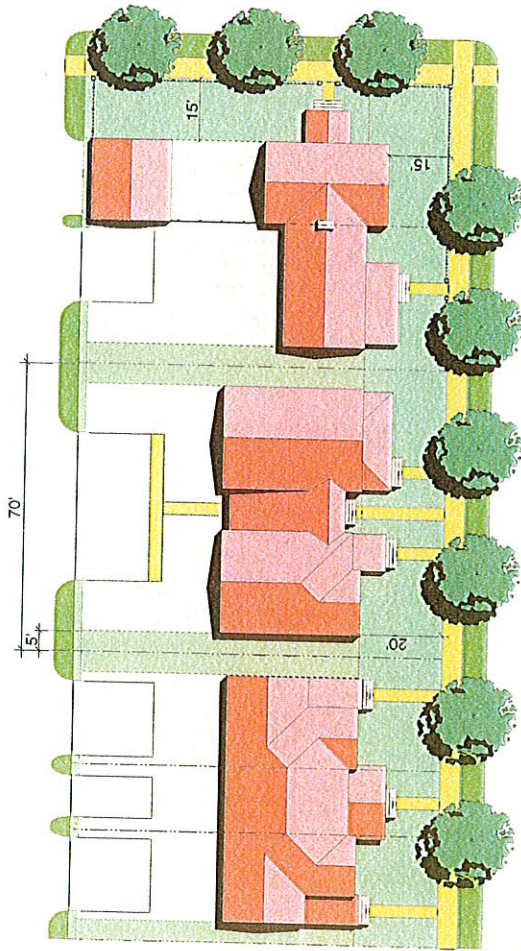
Garages can be placed at either the Alley Setback or 18 feet from the rear property line. If placed on the Alley Setback, garages are permitted to be built on the property line between adjacent lots. A garage is required for all corner lots, and shall be placed at the Side Street Setback.



Landscape

Neighborhood Lot Landscape

In addition to the general landscape guidelines, a minimum of one small ornamental tree and two large ornamental or canopy trees shall be planted. Lawn areas shall not exceed fifty percent of the total lot area.



Placing the House on the Lot

Estate Lots

The 70 foot wide Estate Lots are designed to accommodate a wide range of building types. They can be used as corner lots for duplexes or large single family houses facing parkways and boulevards, for three unit buildings that are designed as big houses, and for small apartment buildings of up to four units.

The maximum facade width without a change in horizontal plane of the facade is 30 feet. The change in facade plane shall be a minimum of 2 feet. For interior lots, a minimum of 80 percent of the street frontage of the lot shall contain a residential structure.

Front Facade Setback: 20 feet from the front property line except where noted in

the *Addresses* section. On corner lots, the corner unit of a duplex may extend a maximum of 5 feet into the front yard.

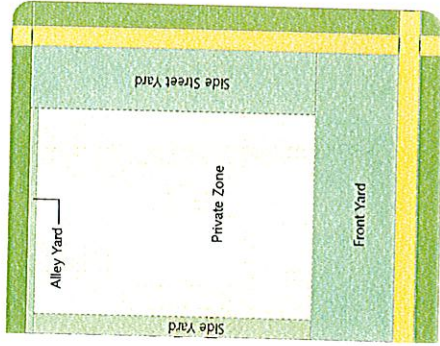
Side Street Facade Setback: 15 feet from the side street property line except where noted in the *Addresses* section.

Side Yard Setback for adjacent lots and side alleys: 5 feet.

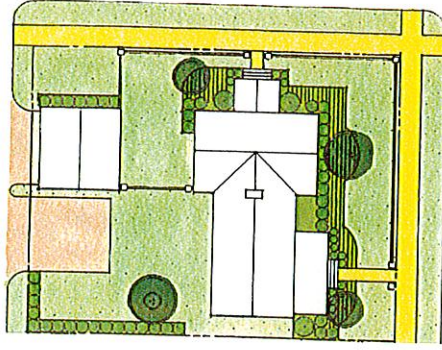
Alley Setback: 2 feet from the rear property line.

Front Driveways are not permitted.

Porches may extend a maximum of 9 feet into the front or side street yards.



Yards and Setbacks



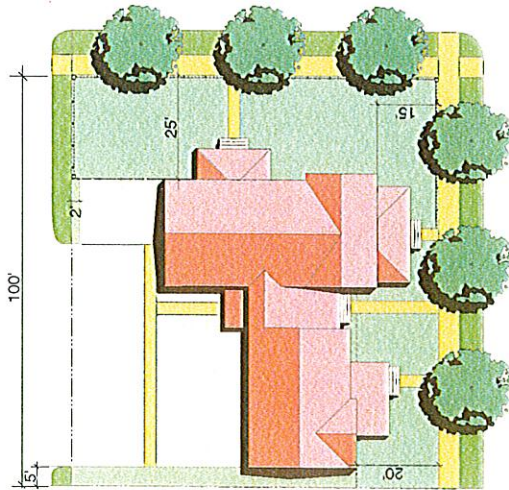
Landscape

Garages can be placed at either the Alley Setback or a minimum of 18 feet from the rear property line. If placed on the Alley Setback, garages are permitted to be built on the property line between adjacent lots. A garage is required for all corner lots, and shall be placed at the Side Street Setback.

Estate Lots Landscape

In addition to the general landscape guidelines, a minimum of two small ornamental trees, one large ornamental tree, and one canopy tree shall be planted. Lawn areas shall not exceed forty percent of the total lot area.

COMMUNITY PATTERNS



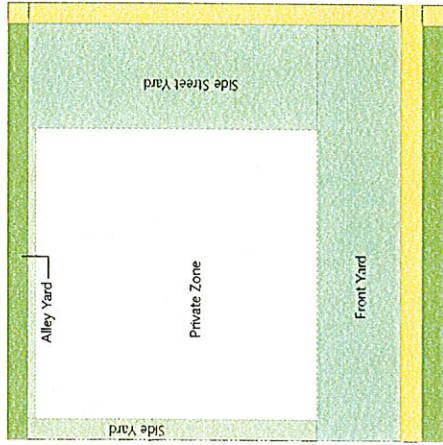
Placing the House on the Lot

Common Lots

The 100 foot wide Commons Lots are designed for small apartment buildings of up to six units. These are always corner lots.

The maximum facade width without a change in horizontal plane of the facade is 35 feet. The change in facade plane shall be a minimum of 2 feet. A minimum of 70 percent of the street frontage of the lot, and 60 percent of the side street frontage, shall contain a residential structure.

Front Facade Setback: 20 feet from the front property line except where noted in the addresses section. The corner unit of a duplex may extend a maximum of 5 feet into the front yard.



Yards and Setbacks

Side Street Facade Setback: 25 feet from the side street property line except where noted in the Addresses section.

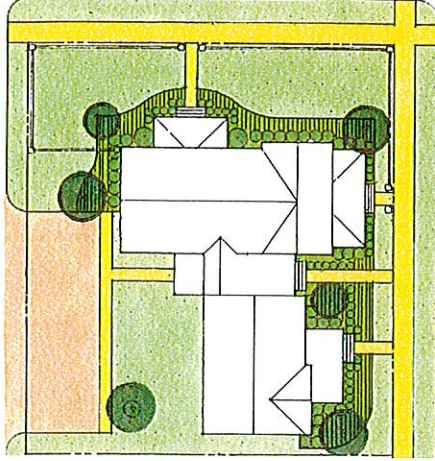
Side Yard Setback for adjacent lots and side alleys: 5 feet.

Alley Setback: 2 feet from the rear property line.

Front Driveways are not permitted.

Porches may extend a maximum of 9 feet into the front or side street yards.

A Private Zone Fence shall be placed at the Side Street Setback to screen parking from public view.



Landscape

Commons Lots Landscape

In addition to the general landscape guidelines, a minimum of two small ornamental trees, one large ornamental tree, and one canopy tree shall be planted. Lawn areas shall not exceed forty percent of the total lot area.

General Landscape Guidelines

Zones: Each lot in Park DuValle is comprised of zones which will require different intensities of planting. Therefore, the planting required in the Front Yard, Side Yard, Side Street Yard, Rear Yard, and Alley Yard zones will vary accordingly. These zones correspond to those described in the "Site Patterns" section of this book. General lot landscaping guidelines are as follows:

Coverage: At a minimum, 40% of the Front Yard Zone, 25% of the Side Yard and Side Street Yard Zones, and 25% of the Alley Yard Zone shall be planted in landscape materials other than lawn.

Plant Materials: The planting should be a mixture of evergreen and deciduous material. At a minimum, 60% of the planting in the Front Yard Zone and 40% of the Rear Yard Zone shall be evergreen. In any one zone there shall be no more than two different species of canopy trees, two different species of ornamental trees, five different species of shrubs or hedges, and four different species of ground covers, perennials and/or annuals.

Trees: Canopy trees and ornamental trees shall be placed in a manner to complement existing trees, adjacent street trees, and the features of the house. No canopy trees shall be planted in the Alley Yard Zone.

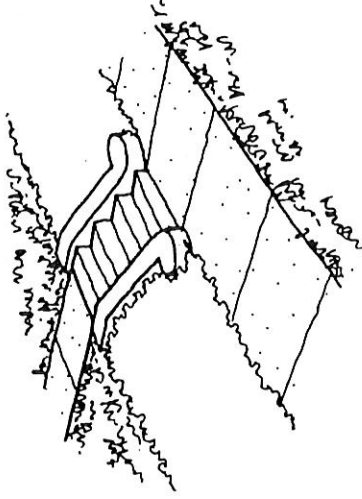
Shrubs: Shrub plantings in the Front Yard Zone should accent the main features of

the house such as porches, entry walks, and windows. Larger, evergreen shrubs can be used to frame the porch as it meets the main body of the house. Smaller shrubs can border entry walks and steps. Building corners should be softened with medium to large shrubs to provide accents.

Hedges: Hedges can be used to define Front, Side, Side Street, and Rear Yard Zones and shall be limited to 36 inches in height. Buffering the Alley Yard is encouraged by using hedges or other screen plantings. Screen plantings for privacy can be a mixture of small ornamental trees and shrubs, so long as shrubs do not exceed 48 inches in height.

Ground Covers: Ground covers can be used to unify planting beds across the front of the house. Evergreen ground covers should be placed on slopes greater than 2:1 and between the public sidewalks and fences or walls.

Flowers: Perennial and annual flower beds should be integrated to add color and variety to the landscape.



Fencing

Fencing is intended to be used primarily on corner lots in the Front and Side Street Yard Zones. It can be used to define private spaces and carry the architecture into the landscape. Front and Side Street Yard Zone fences shall be a transparent style of picket, constructed of either iron or wood and not to exceed 36 inches in height. Front and Side Street Yard Zone fences shall be located 18 inches from the adjacent sidewalk and an evergreen ground cover planted between. If more privacy is desired in the Rear Yard Zone, fences opaque up to 72 inches in height with 24 inches of transparent fencing (such as lances) above can be used. This privacy fence can be constructed only beyond the main body of the house.

Screening

All air conditioning units and other mechanical equipment shall be screened from public view with shrubs, hedges, walls, fences, or a combination of these. Ancillary structures, such as sheds or trash enclosures are to be integrated into the landscape as much as possible and screened from public view using similar methods.

Walls and Steps

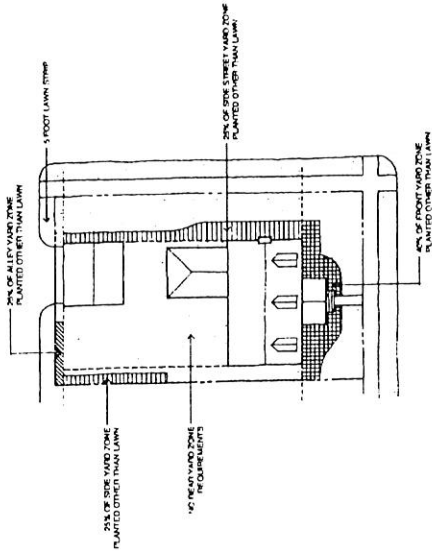
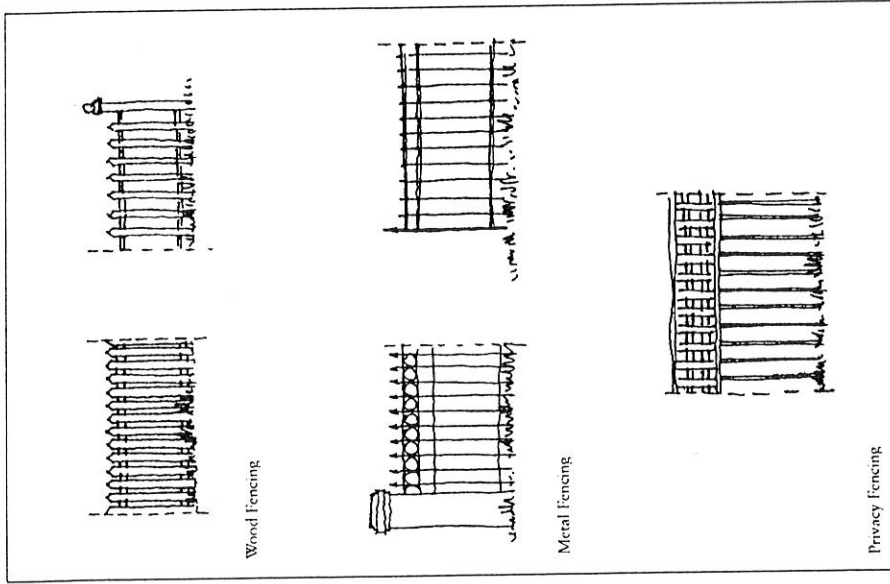
Where required, walls along the public streets shall be a minimum of 18 inches away from the sidewalk and an evergreen ground cover planted between. If walls are required in the Front Yard Zone, they shall not exceed 30 inches in height and be constructed of a material that is in keeping with the architecture.

Ancillary Structures

Garages and ancillary buildings shall be designed in the same architectural style as the house, using elements and materials compatible with the house.

Maintenance

Face of maintenance and material longevity must be considered when developing landscape plans. Landscape materials must look attractive when initially installed as well as in the future. Proper maintenance practices include adequate watering, weeding, fertilizing, edging, pruning, pest control, and removal of diseased, dead, or damaged materials. Clues can be taken from the natural environment for issues of plant selection, hardness, and drainage. Careful planning up front will ensure a healthy and easily maintained landscape for years to come.



Cottage Lot Landscape

In addition to the general landscape guidelines, one small ornamental tree shall be planted in the Front Yard; a minimum of one large ornamental or canopy tree shall be planted elsewhere on the lot. Lawn areas shall not exceed 50% of the total lot area.

Neighborhood Lot Landscape

In addition to the general landscape guidelines, a minimum of one small ornamental tree and two large ornamental or canopy trees shall be planted. Lawn areas shall not exceed 50% of the total lot area.

Estate Lot Landscape

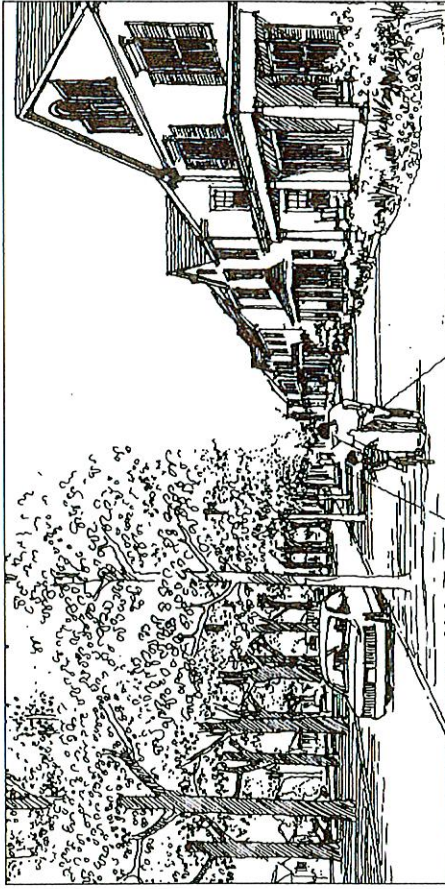
In addition to the general landscape guidelines, a minimum of two small ornamental trees, one large ornamental tree, and one canopy tree shall be planted. Lawn areas shall not exceed 40% of the total lot area.

Commons Lot Landscape

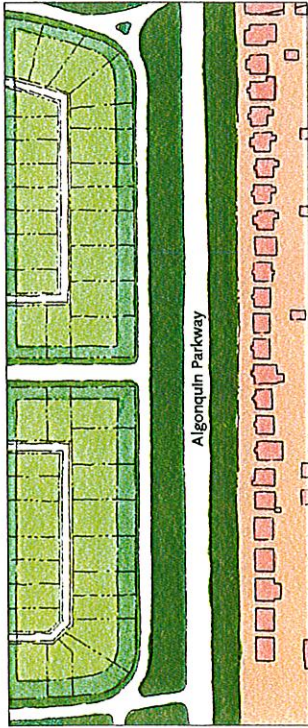
In addition to the general landscape guidelines, a minimum of two small ornamental trees, three large ornamental trees, and one canopy tree shall be planted. Lawn areas shall not exceed 40% of the total lot area.

COMMUNITY PATTERNS

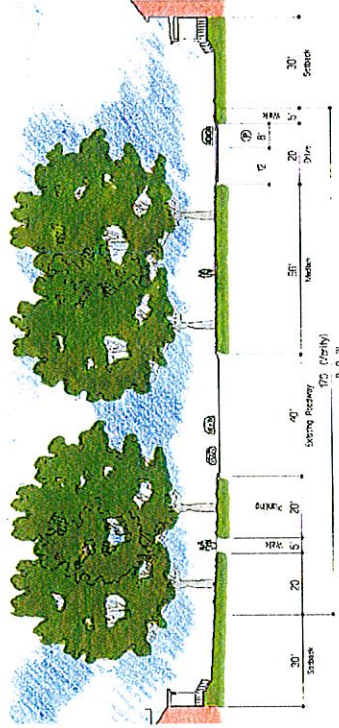
Landscape Patterns



View of Algonquin Parkway looking west



Partial Plan of Algonquin Parkway



Section through Algonquin Parkway

Algonquin Parkway

The strengths of the Parkway as an address – the wide tree lawn and grandeur of its trees – will be preserved and reinforced through the creation of a traditional service drive. The boulevard-like effect of Algonquin Parkway between 35th Street and the new Park Drive will provide a grand and dramatic front door for the community.

The elegantly designed houses along Algonquin Parkway will present the 'table of contents' for the architectural styles in the neighborhood and set the stage for the collection of smaller scale streets, each with its own character but using the same pool of style types.

The front yard setback is 30 feet along Algonquin Parkway. Front driveways accessed from the service drive are permitted. The use of planting strips in front driveways is encouraged.

COMMUNITY PATTERNS

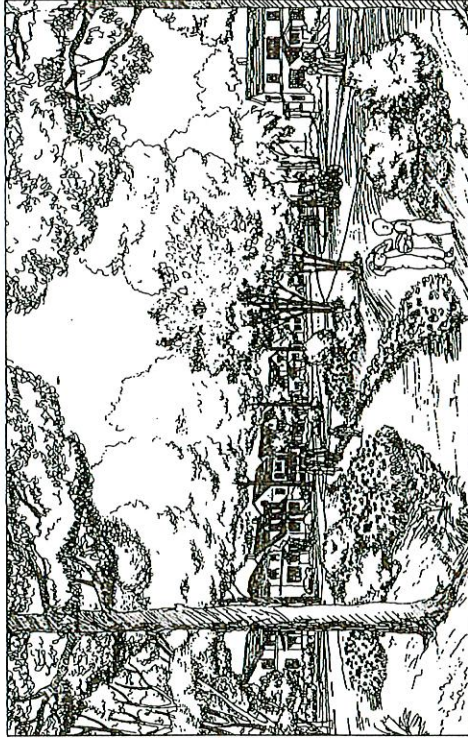


Partial Plan of Park Drive

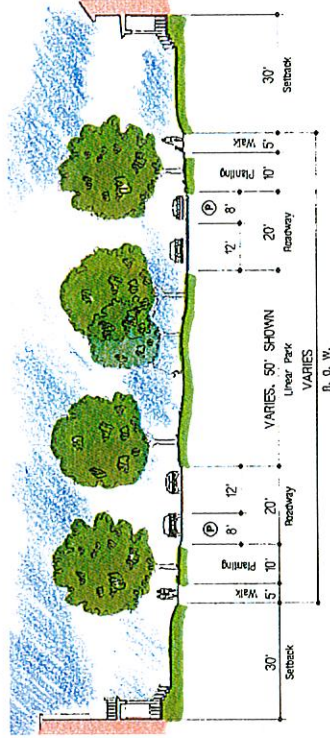
Park Drive

New park drives will link DuValle Education Center, Russell Lee Park and Algonquin Park to form a 'mini-emerald necklace' for the neighborhood. The front Facade Setback for houses along Park Drive is typically 30 feet.

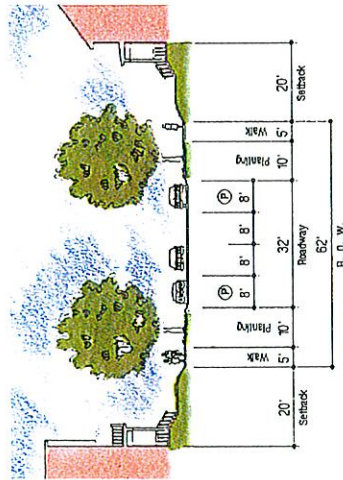
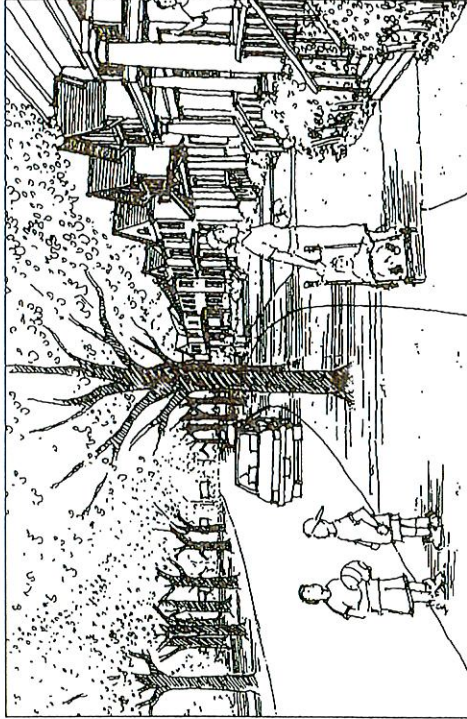
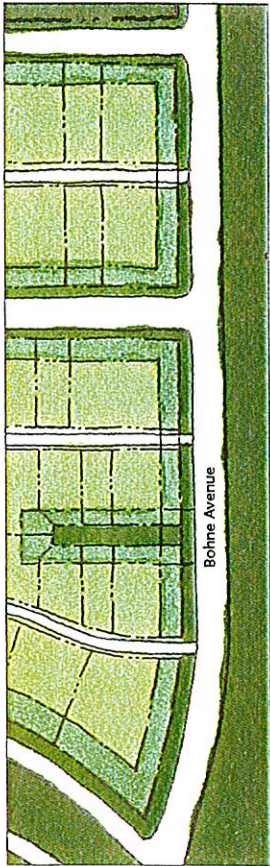
Houses between Algonquin Parkway and Bohne Avenue will extend the character of Algonquin Parkway and be a mix of the three architectural styles. Between Bohne and Stratton Avenue, the mix will continue but with more than fifty percent Craftsman and fewer Victorian and Colonial Revival style houses. Between Stratton and Young Avenue, both sides of the street will be entirely Craftsman style houses in different materials and with the full inventory of Craftsman style porches. Between Young and Southern Avenue, houses will be predominantly Craftsman, but with brick Victorian style houses mixed-in to make the best transition to The Oaks at Park DuValle.



View of Park Drive looking south from Stratton Avenue



Section through Park Drive



Community Streets

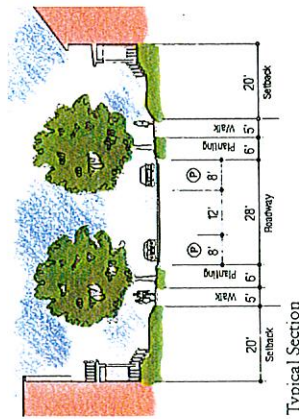
Through-streets within the neighborhood need to both accommodate traffic and create a pedestrian scaled environment along them. Many of these, such as the blocks of Bohne opposite the Park DuValle Education Center and along Southern Avenue opposite Russell Lee Park, are single-sided. The tree lawns and setbacks are designed to provide adequate distance between the houses and the streets, but the cartways should still be limited to a maximum 32 ft. to discourage high speed drivers.

Typical Section

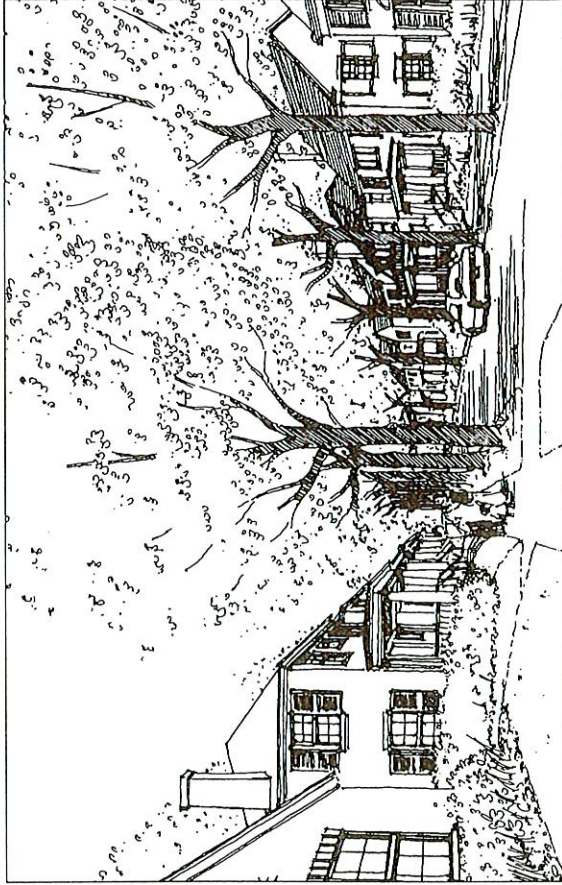
COMMUNITY PATTERNS



Partial Plan of Von Spiegel Avenue



Typical Section



View of Von Spiegel Avenue

Local Neighborhood Streets

The most intimate of neighborhood streets should discourage high volumes of through-traffic and create human, pedestrian scale.



COMMUNITY PATTERNS





Distribution of Building Types

Building typologies

Phase II development is focused around the new Park Drive and Algonquin Parkway, and is contiguous with The Oaks at Park DuValle development. Building types range from large lot single-family houses through mixes of single and multi-family units. The diagram indicates the locations of these different building types and the illustrative plan demonstrates how the variety of building types creates variety and individuality in the neighborhood.

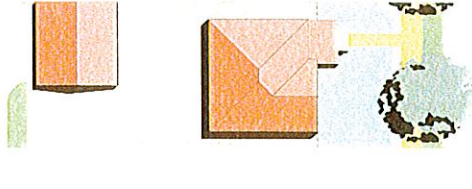
The objective is to build a neighborhood with streets lined with houses. The massing and articulation of all building types are designed to have the character and scale of 'Louisville houses.' Principles for designing the seven building types are described on the following pages. Larger, multi-unit buildings are articulated to resemble a series of houses while two-unit and three-unit buildings are designed to resemble one large house.

Building Types Key

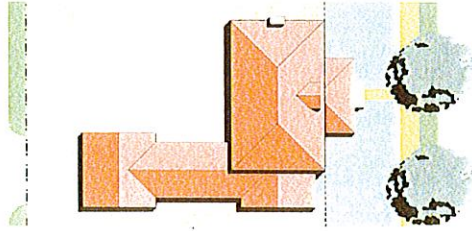
- Single Family
- Duplex
- Triplex
- 4 Unit Apartment
- 6 Unit Apartment
- Patio/Courtyard



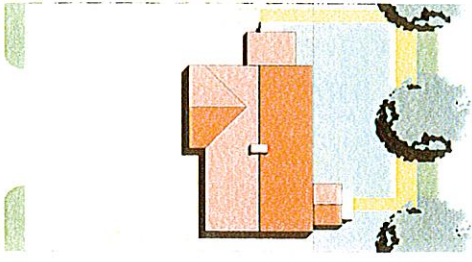
Architectural □ Patterns □



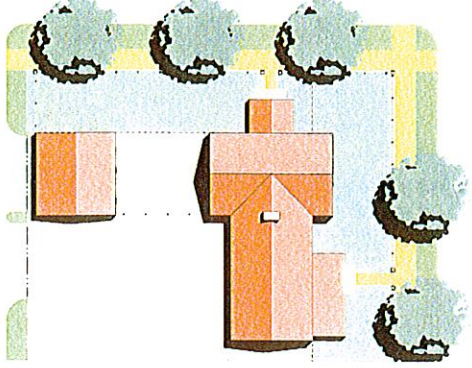
Single Family Narrow House
A 3BR or 4BR detached house with gable-L front (shown) or full front gable.



Single Family Wide House
A 3BR or 4BR detached house with side gable or hipped roof, often with side wings or a side porch.



Duplex A
2BR or 3BR townhouses combined as a large house with a side porch. Projected gable wing can face the street or back yard.



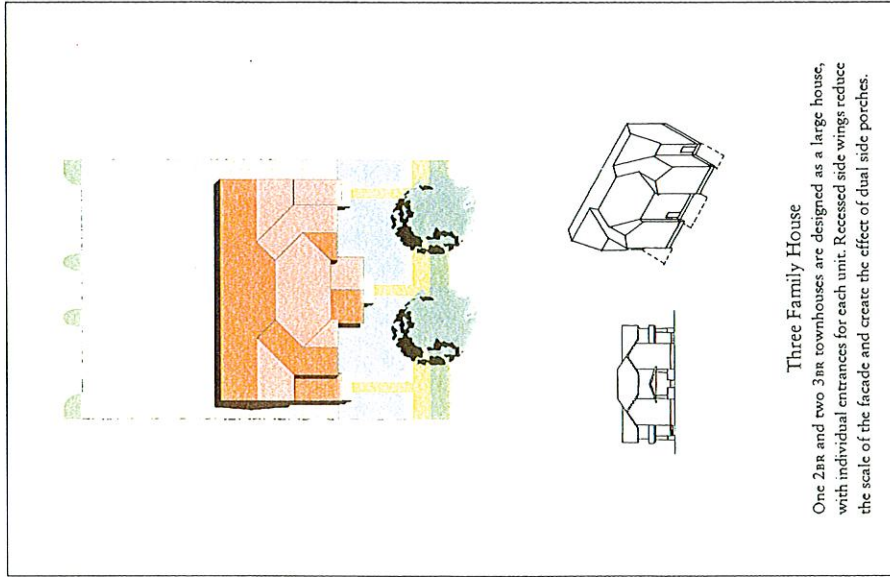
Duplex B
Two 3BR townhouses arc designed as a large house for a corner lot. The building addresses both streets.



ARCHITECTURAL PATTERNS

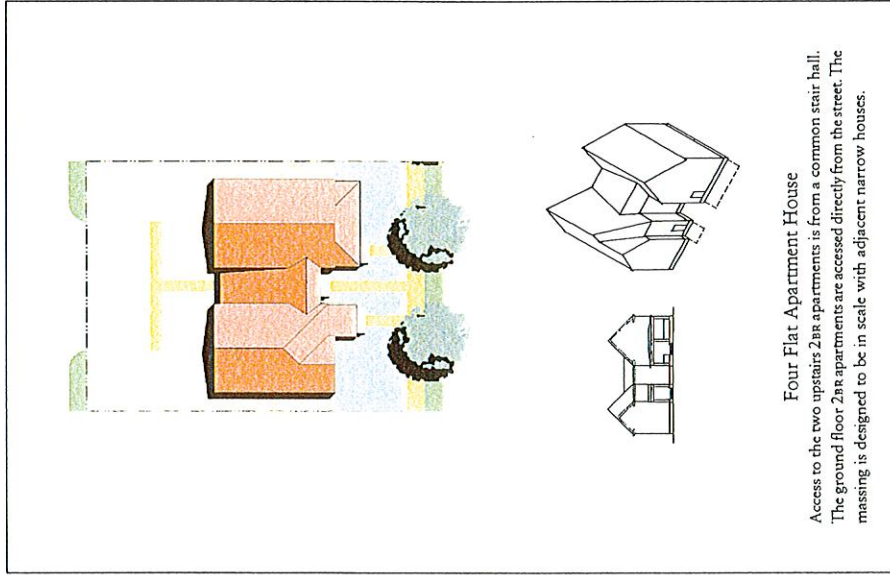


Single Family & Duplex House Types



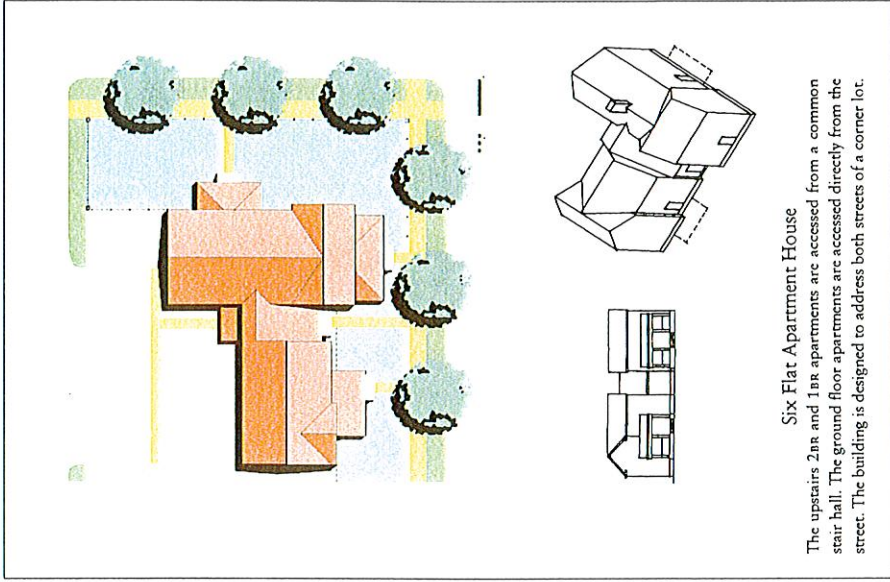
Three Family House

One 2BR and two 3BR townhouses are designed as a large house, with individual entrances for each unit. Recessed side wings reduce the scale of the facade and create the effect of dual side porches.



Four Flat Apartment House

Access to the two upstairs 2BR apartments is from a common stair hall. The ground floor 2BR apartments are accessed directly from the street. The massing is designed to be in scale with adjacent narrow houses.



Six Flat Apartment House

The upstairs 2BR and 1BR apartments are accessed from a common stair hall. The ground floor apartments are accessed directly from the street. The building is designed to address both streets of a corner lot.



Multi-Unit Buildings



ARCHITECTURAL PATTERNS



Distribution of Architectural Styles

Architectural Styles

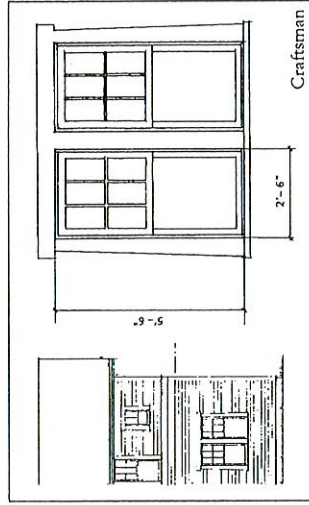
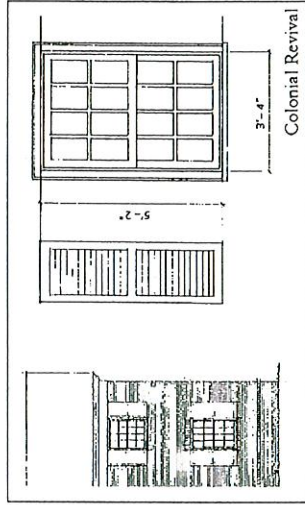
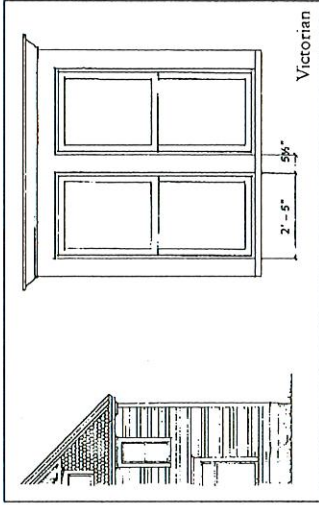
Research of Louisville's neighborhoods identified three architectural styles to be appropriate for Park Duvalle's Phase Two development: Old Louisville Victorian, Colonial Revival, and Louisville Craftsman.

The character of each address will be determined in part by the mix and range of architectural styles along it. For example, the area along Algonquin Parkway is a mix of all three architectural styles, which is similar to other Parkway addresses in the city. On the other hand, some of the smaller scaled neighborhood streets offer opportunities to create a unique environment of all Victorian houses, all Craftsman houses, or all Colonial Revival houses.

In this way each address will have a different character. The combination of different architectural styles and different building types is intended to create design diversity which enables the mix of subsidized and market rate, rental and homeownership to be 'invisible,' just as it is in a traditional neighborhood.

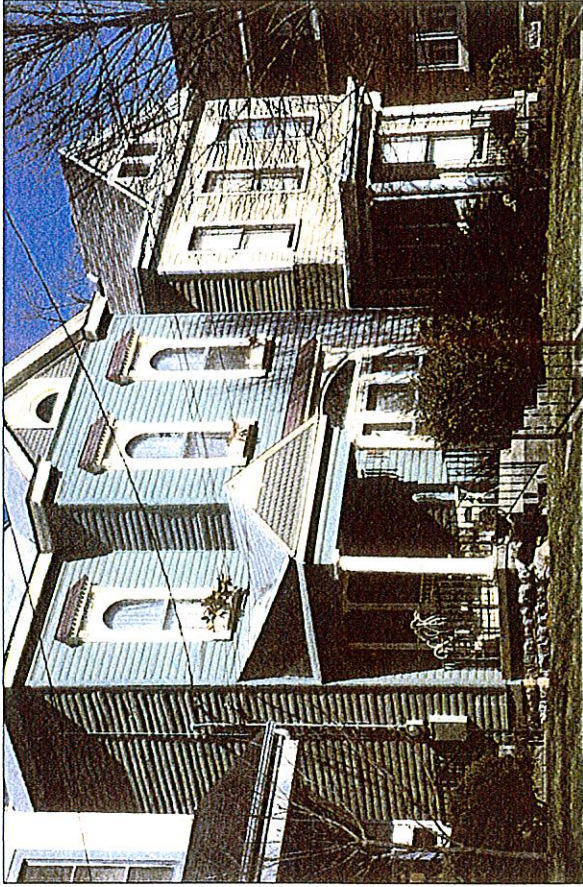
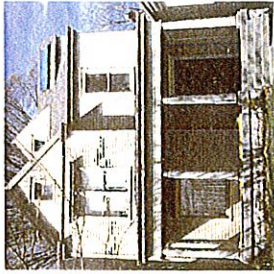
Architectural Styles Key

- Total Mix: Colonial Revival, Craftsman, and Victorian
- Total Mix Mostly Colonial Revival
- Total Mix Mostly Craftsman
- All Colonial Revival
- All Craftsman
- Mix: Craftsman and Colonial Revival
- Mix: Colonial Revival and Victorian
- Mostly Victorian with some Craftsman



Old Louisville Victorian

The Victorian era had a significant impact on the character of Louisville neighborhoods. Turn-of-the-century houses in Old Louisville are stately, brick, 2½ story houses closely spaced to form a continuous character. Other smaller scale neighborhood houses were developed as two-bay and three-bay houses with vertical window proportions; porch elements which combine Classical, Colonial Revival and Carpenter Gothic detailing; and steep roof pitches for gable ends facing the street. There are both brick and frame types found in Louisville, each with a distinctively different character. While there are Queen Anne and Stick Style examples, the more common types are variations within the standard Louisville two-bay house construction.



Essential Characteristics

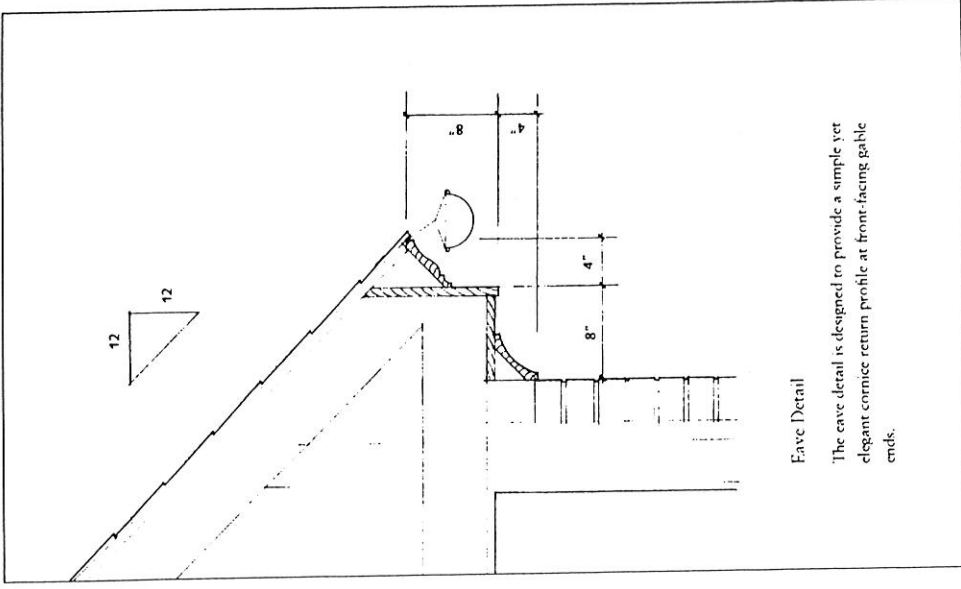
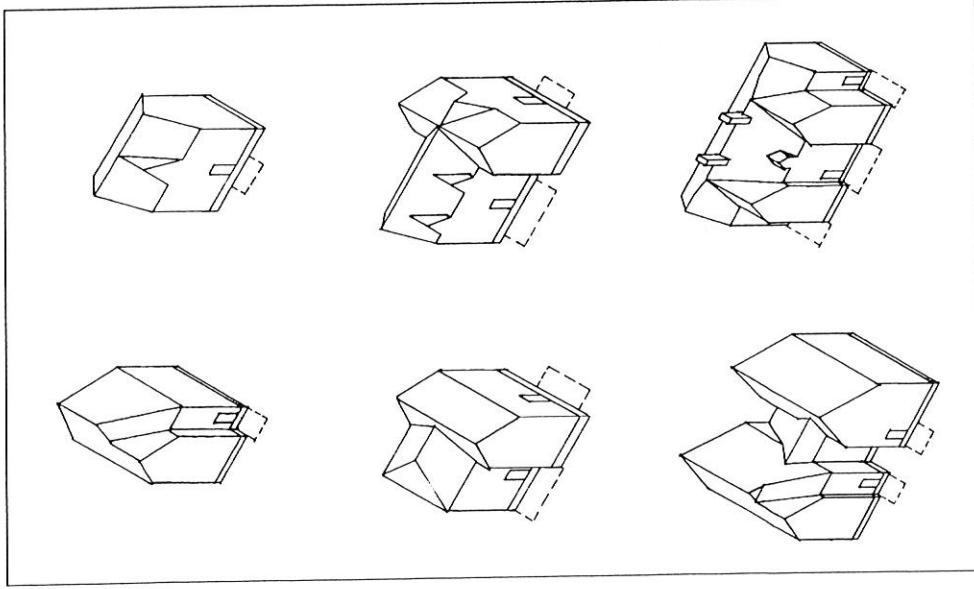
1. Windows and doors have vertical proportions and wide trim.
2. Front-facing gables which have steeply pitched roofs, decorative siding, and square or arched special windows.
3. Massing uses vertically proportioned volumes, sometimes arranged asymmetrically.
4. Porches and cornices have classical detailing.
5. A large feature window with transom at the ground floor opposite the entrance

PARK DUVALLE PATTERN BOOK

Massing

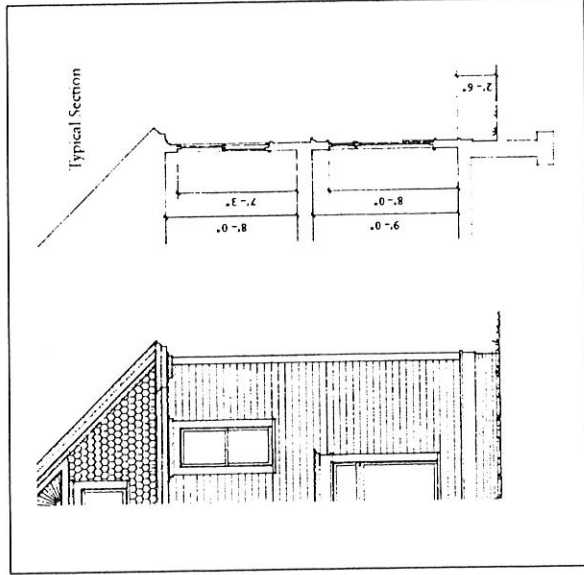
The basic volume is a simple rectangular form with either a gabled or hipped roof. The long axis can be either perpendicular or parallel to the street. Complex house forms are composed of two or more simple volumes; i.e., irregular or asymmetric forms are not used. Hipped roofs are typically combined with a narrow gabled wing perpendicular to the street.

Roof pitch is 12 in 12 for gable ends perpendicular to the street. A shallow pitch of 6 in 12 can be used for hipped roofs and gabled roofs where the axis is parallel to the street. Roof pitch for dormers is typically 12 in 12 to 20 in 12.



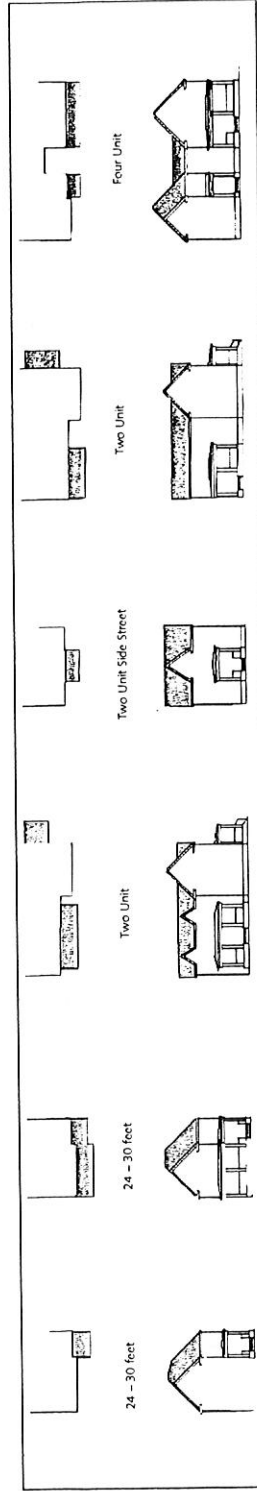
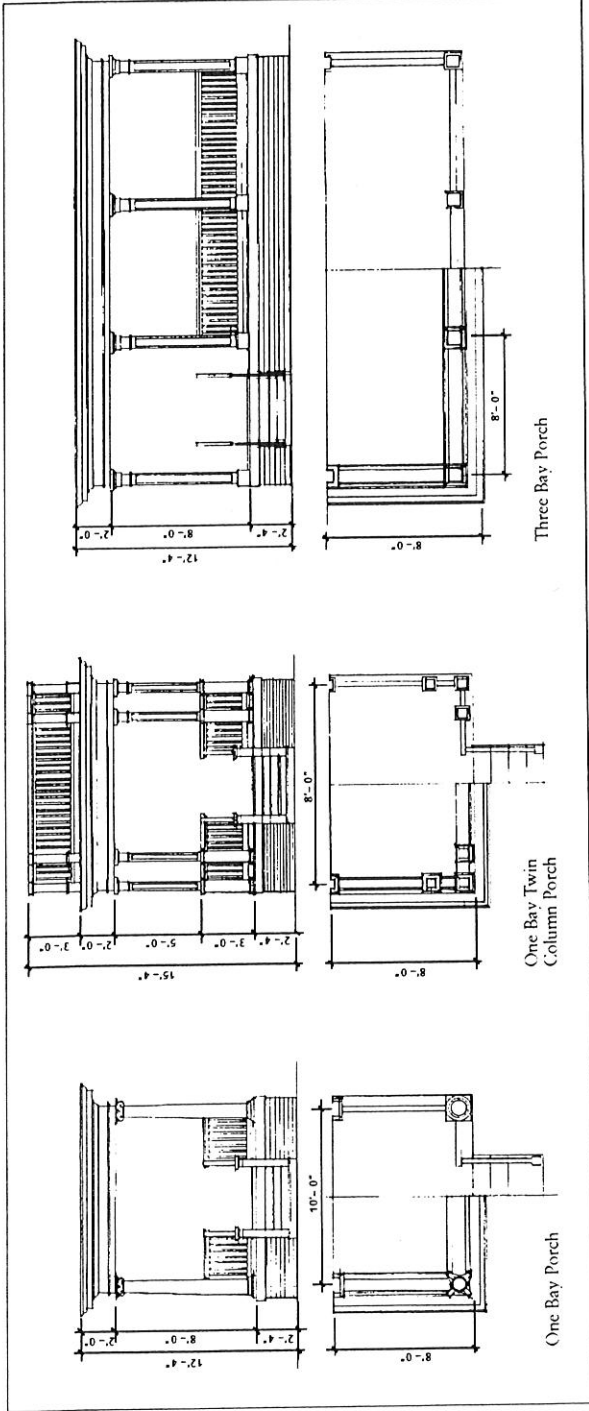
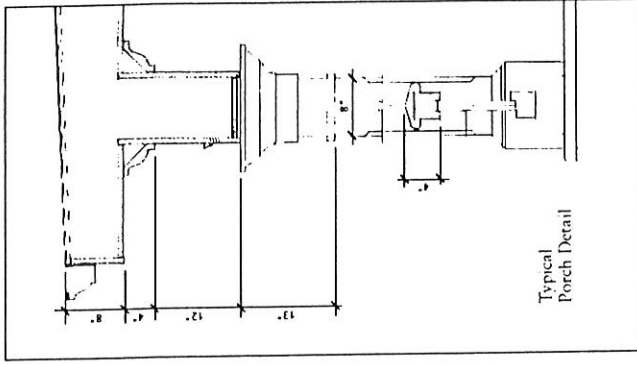
Eave Detail

The eave detail is designed to provide a simple yet elegant cornice return profile at front-facing gable ends.



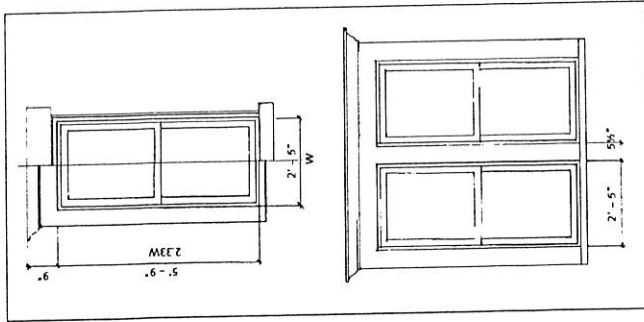
ARCHITECTURAL PATTERNS

Old Louisville Victorian – Massing

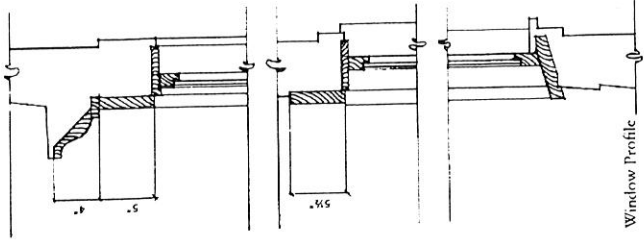


ARCHITECTURAL PATTERNS

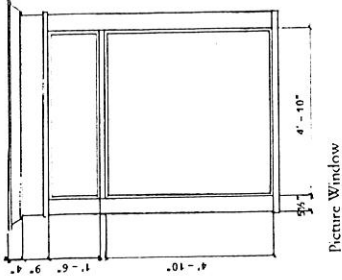
Old Louisville Victorian - Porches



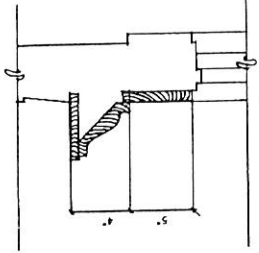
Standard Windows



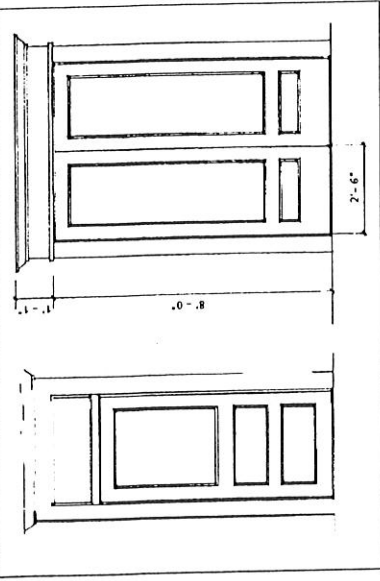
Window Profile



Picture Window



Door Profile

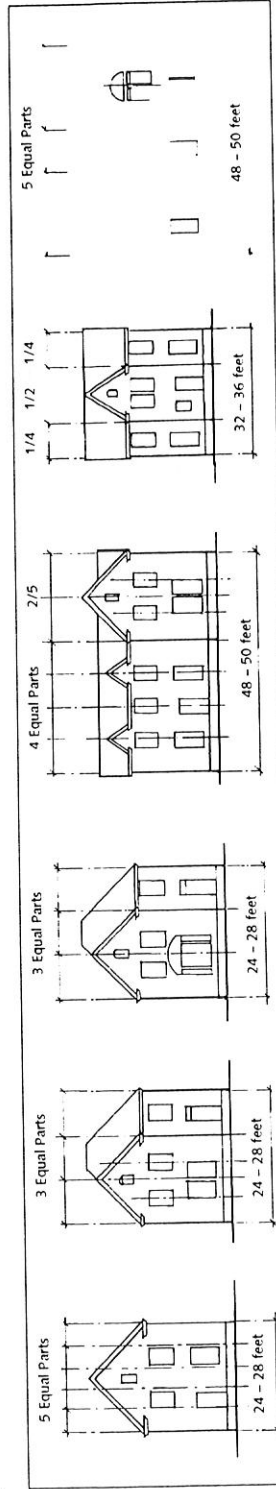


Doors

Windows & Doors

Standard windows are double hung with vertical proportions. Special windows are encouraged as central features or to provide a contrast in scale.

Panel doors with lights should be framed with a simplified classical surround. Transoms or tall double doors are encouraged.



Window & Door Placement

ARCHITECTURAL PATTERNS

Materials

Roofing: Asphalt or fiberglass shingles; slate or synthetic slate; or standing seam metal.

Cladding: Wood, fiber-cement, or vinyl horizontal siding, 4 inches to 6 inches wide, with beveled, shiplap or beaded lap profile; smooth finish standard size brick in running, English, or Flemish bond.

Trim: 5/4 inch x 6 inch corner boards; wood and molded millwork for built-up sections. Deluxing (wrapping wood with aluminum) is not permitted.

Soffits & Porch Ceilings: T & G wood or beaded pattern plywood; GWB or plaster; T&G composite and beaded vinyl. Continuous perforated soffit materials are not permitted.

Columns: Square with chamfered corners and built-up capitals & bases, or round Tuscan or Ionic orders with architecturally correct capital & base proportions and entasis; in wood, fiberglass or composite material.

Railings: Turned wood balusters; decorative metal optional at second floor terraces.

Foundations: Brick; formed concrete with siding.

Lintels: Precast concrete, or stone.

Gutters: Prefinished aluminum half-round, mounted with straps.

Downspouts: Round, smooth prefinished aluminum.

Chimneys: Brick.

Lighting: Pendant, wall, or post mounted 'gas-style' lights.

Colors

Roof Shingles: Black or medium to dark grey.

Standing Seam Metal Roofing: Light gray or red.

Siding: White, gray, pastels, deep blue, deep ochre, deep olive, terra cotta.

Brick: Close range of medium reds with light sand color mortar.

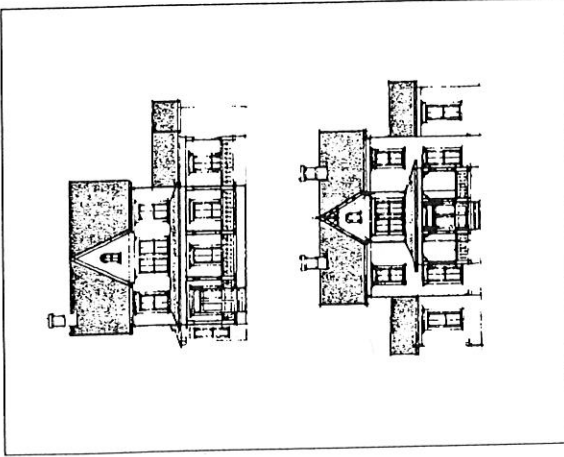
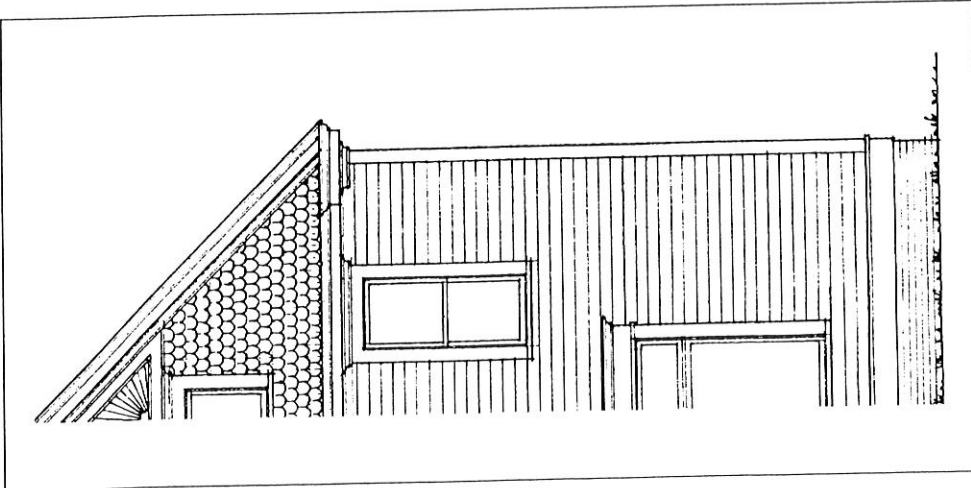
Windows: Sashes and frames to be white.

Doors: Black, dark green, dark blue, or dark red.

Trim: Window, corner, and cornice trim to be white.

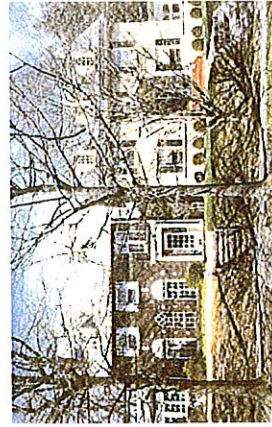
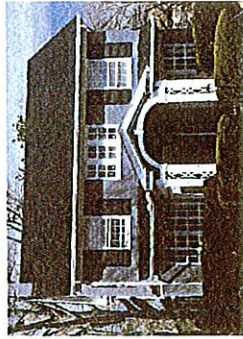
Columns: White or off-white.

Railings: Black, dark green, dark blue, or dark red.



Colonial Revival

This style is the fabric of most American neighborhoods built in the first part of the twentieth century. Louisville has developed a unique variety of Colonial Revival houses ranging from large four square types to the two-bay gable end and hipped type that makes up most of the neighborhood fabric in areas around Cherokee Park. Many of the later neighborhoods such as those adjacent to Frankfort Avenue are typical of later Colonial Revival development with a variation of three and five bay houses, both large and small. This style features divided light windows with a wide proportion, porticos and side porches with doric columns, and simple massing with add-on side and rear wings. Roofs are either gabled or hipped.



Essential Characteristics

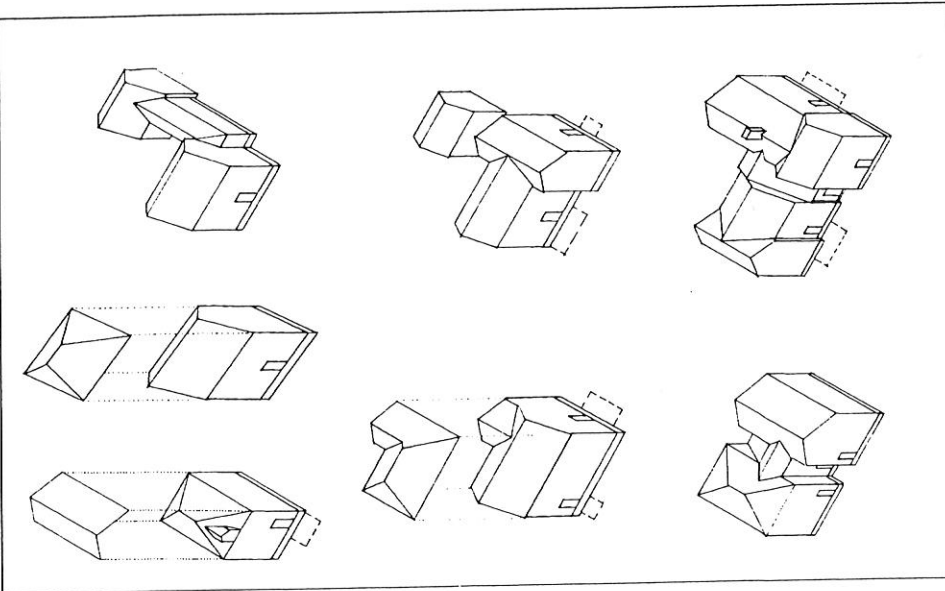
1. Simple, straight-forward volume with gabled or hipped roof
2. Entry Porticos on three and five bay houses and one or two bay front porches on two bay compositions
3. Wide proportioned windows, often divided into a 6 over 6, or 8 over 8 pattern.
4. Simplified classical details and trim
5. An orderly, not necessarily symmetrical, relationship between windows, doors and building mass

PARK DUVALLE PATTERN BOOK

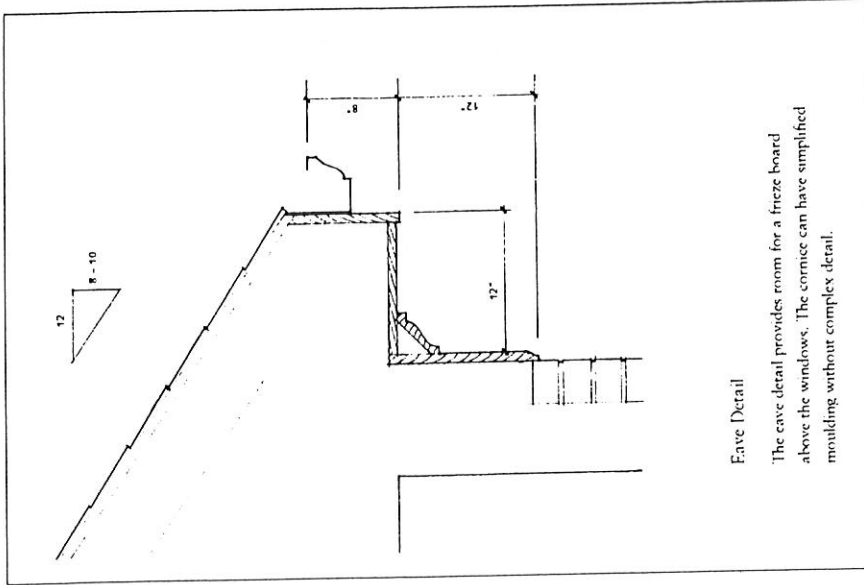
Massing

The basic volume is a simple rectangular form with either a hipped or gabled roof. The long axis can be either perpendicular or parallel to the street. Complex house forms are composed of two or more simple volumes with the same roof forms, i.e. irregular or asymmetric forms are not used.

Roof pitches range from 6 in 12 to 10 in 12, except for special gabled fronts which can use a 12 in 12 pitch. Wide central dormers on the front facades of hipped roof houses are encouraged.

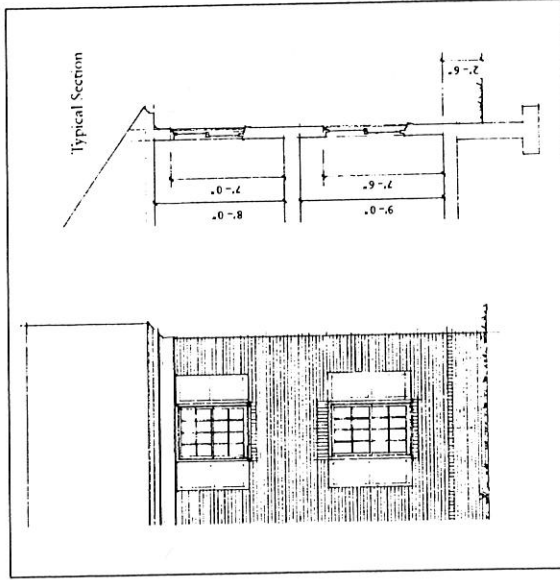


Typical Massing Diagrams



Eave Detail

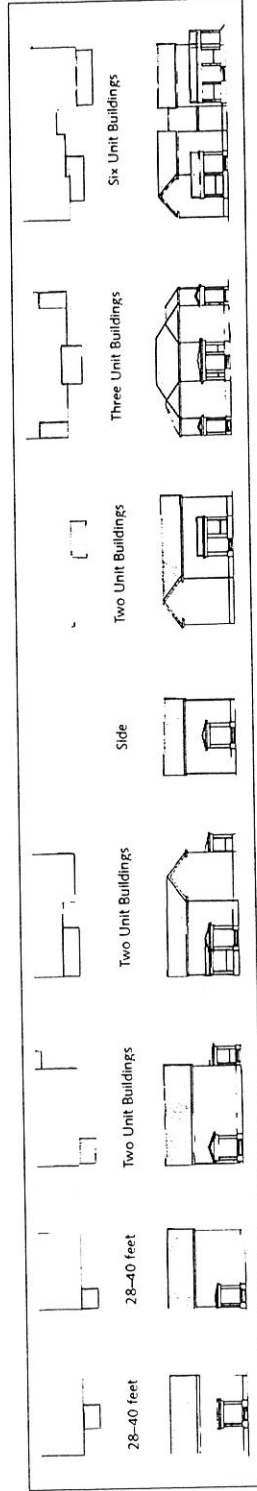
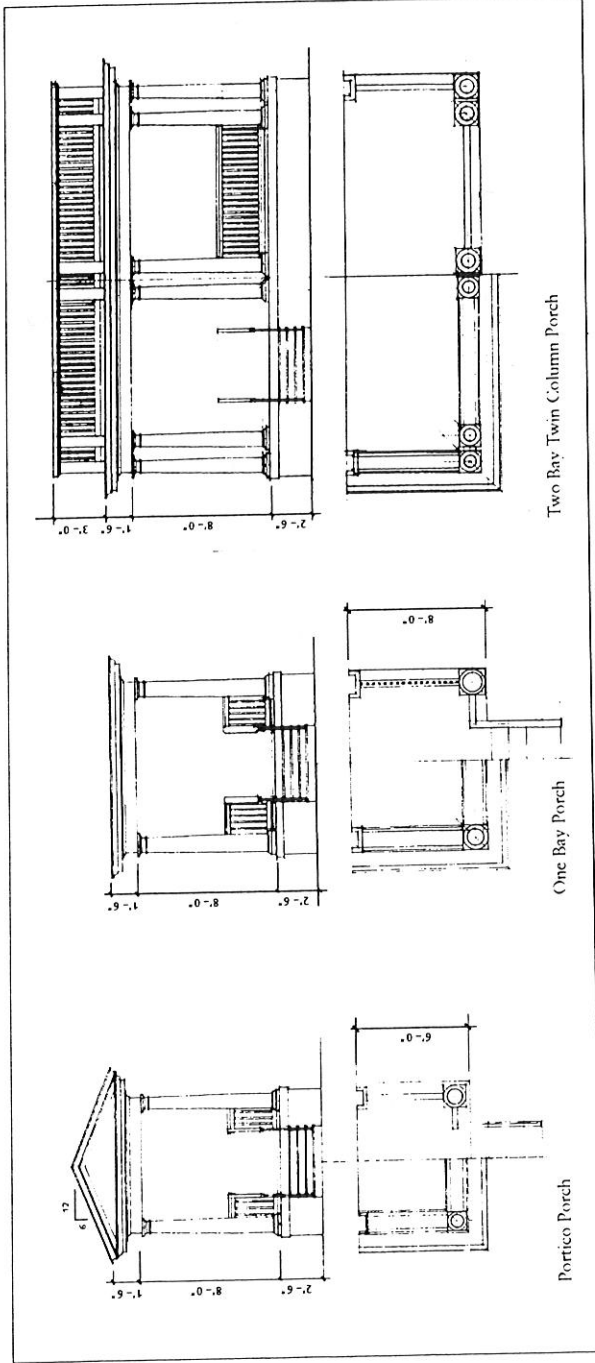
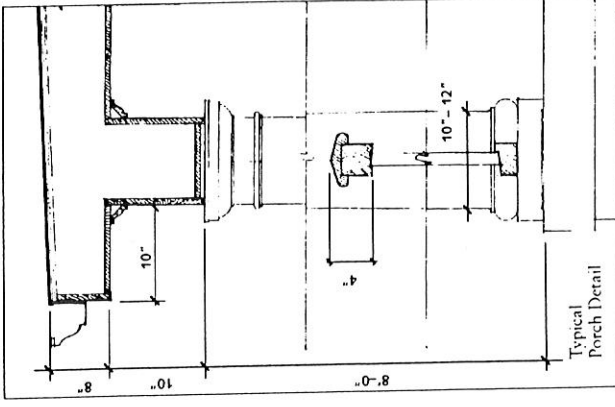
The eave detail provides room for a frieze board above the windows. The cornice can have simplified moulding without complex detail.



Typical Section

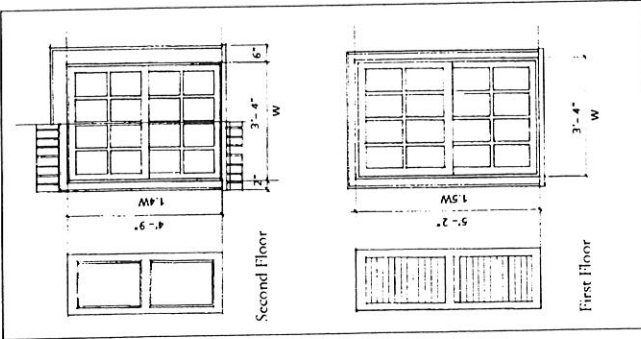
ARCHITECTURAL PATTERNS

Colonial Revival – Massing

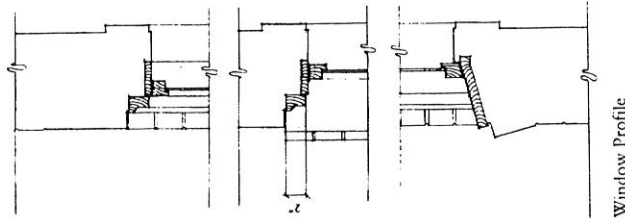


ARCHITECTURAL PATTERNS

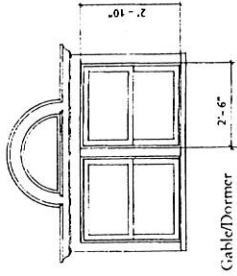
Colonial Revival – Porches



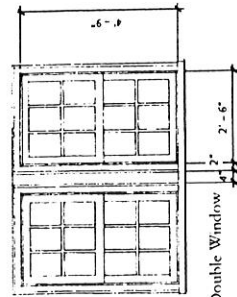
Standard Windows



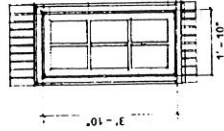
Window Profile



Gable/Dormer



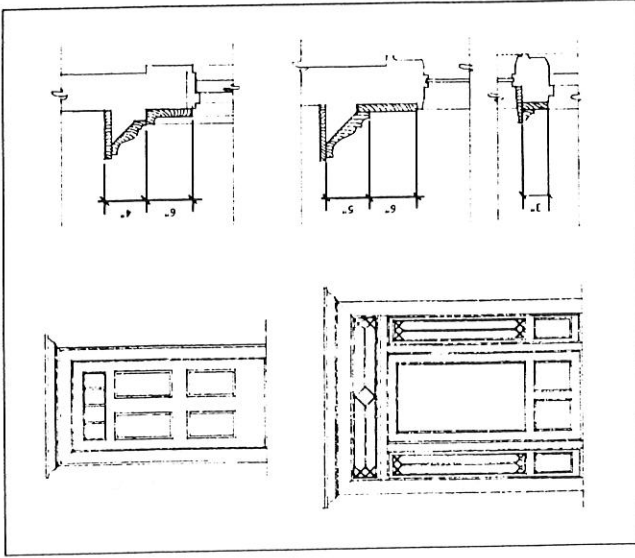
Double Window



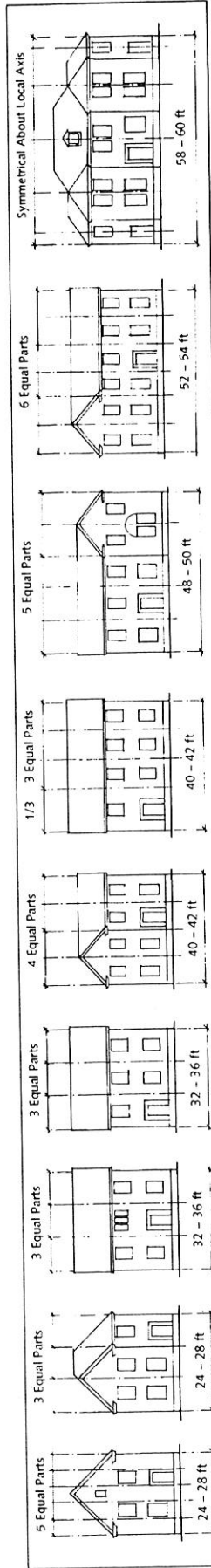
Small Window

Windows & Doors

Standard windows are either 6 over 6 or 8 over 8 with wide muntins. Special windows are encouraged as central features or to provide a contrast in scale. Four panel doors with lights should be framed with a simplified classical surround. Side lights and transoms are encouraged with rectangular divided lights or as an option, more decorative lights as illustrated.



Doors & Door Profiles

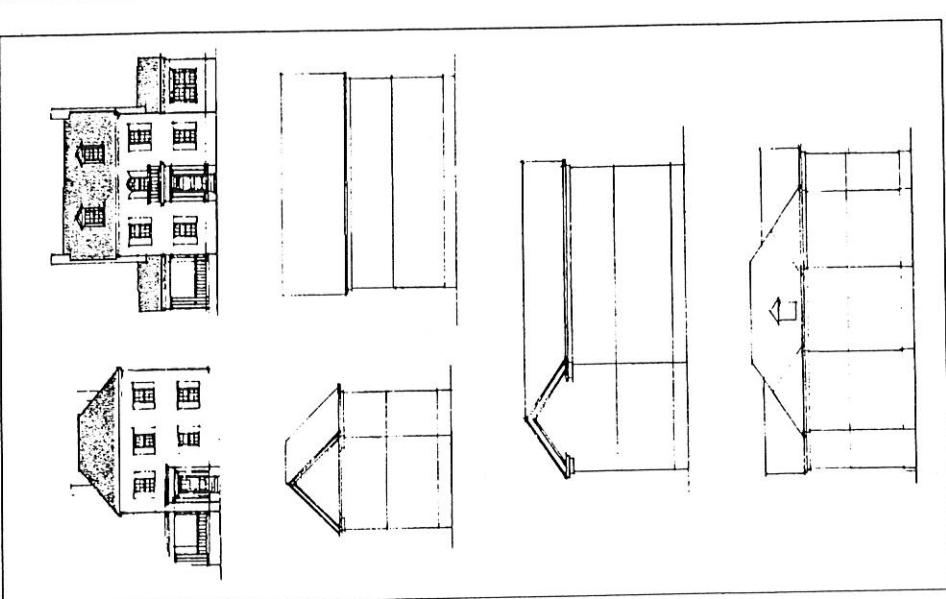
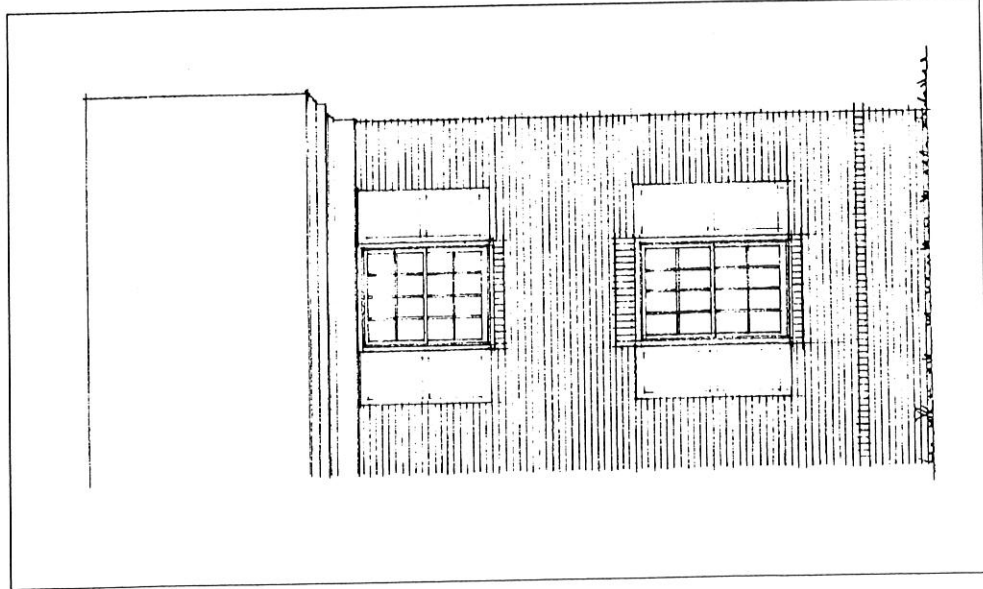


Window & Door Placement

ARCHITECTURAL PATTERNS

Materials

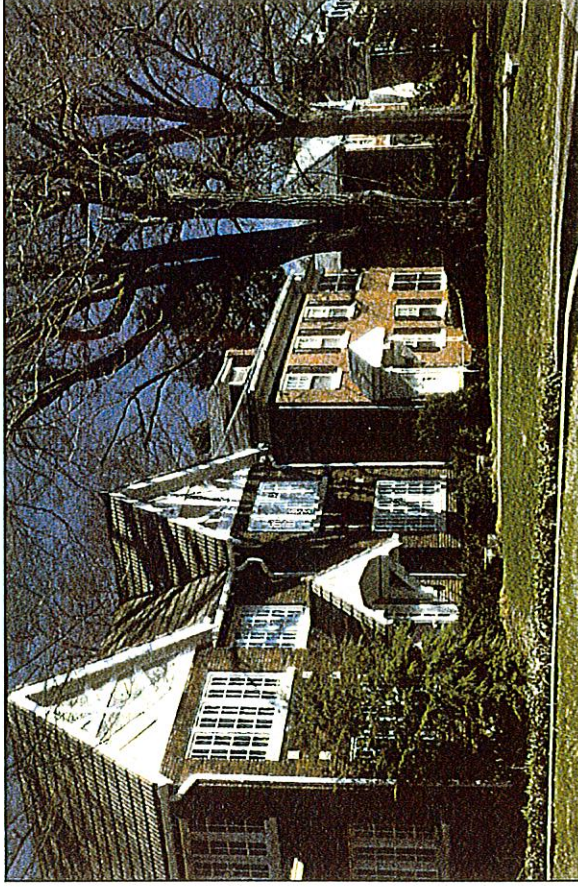
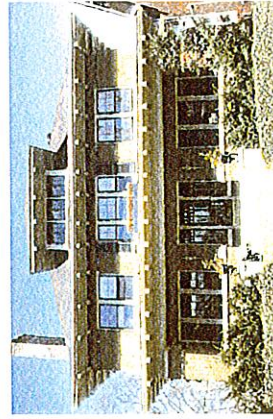
- Roofing: Asphalt or fiberglass shingles; slate or synthetic slate; or standing seam metal.
 - Cladding: Wood, fiber-cement, or vinyl horizontal siding, 4 inches to 6 inches wide, with beveled, shiplap or beaded lap profile, smooth finish standard size brick in common, English, or Flemish bond; or light sand finish stucco or exterior finish system.
 - Trim: 5/4 inch x 6 inch corner boards; wood and milled millwork for built-up sections. Deluxing (wrapping wood with aluminum) is not permitted.
 - Soffits & Porch Ceilings: T & G wood or beaded pattern plywood; GWB or plaster; T&G composite and beaded vinyl. Continuous perforated soffit materials are not permitted.
 - Columns: Tuscan or Doric orders with architecturally correct capital and base proportions and entasis, in wood, fiberglass or composite material.
 - Railings: Straight or turned wood balusters, decorative metal optional at 2nd floor terraces.
 - Foundations: brick, stucco; formed concrete with siding.
 - Lintels: Brick, stucco, precast concrete, or stone.
 - Shutters: Panel or louver in wood, unfinished metal or composite material, mounted with hardware to appear operable.
 - Gutters: Ogee profile ('K' style), unfinished aluminum.
 - Downspouts: Rectangular smooth unfinished aluminum.
 - Chimneys: Brick; stucco or exterior finish system.
 - Lighting: Pendant, wall or post mounted carriage lamp.
- Colors**
- Roof Shingles: Black or medium to dark grey.
 - Siding: White, light gray, pale yellow, deep blue.
 - Stucco: Off-white, light grey, deep ochre, terra cotta.
 - Brick: Close range of medium reds with light sand color mortar.
 - Windows: Sashes and frames to be white.
 - Shutters & Doors: Black or dark green.
 - Trim: Window, corner, and eave trim to be white.
 - Columns: White, off-white, or stone.
 - Railings: Black or dark green.



Louisville Craftsman

This style evolved during the 1920s as the Craftsman style gained popularity in California and became a national style in house design, available both in pattern book housing for builders, and as custom design offered by architects. The craftsman style was thus adapted to more modest housing as well as the high end of urban markets at the time. The style often displays deep eaves, grouped windows and fanciful trim on windows, doors and porches. The interiors were often distinguished by inventive built-in cabinetry, paneled doors and walls, interior columns and room dividers and the feel of the house as a piece of furniture.

In Louisville, many of the traditional Colonial Revival house bodies were reworked with Craftsman detailing.



Essential Characteristics

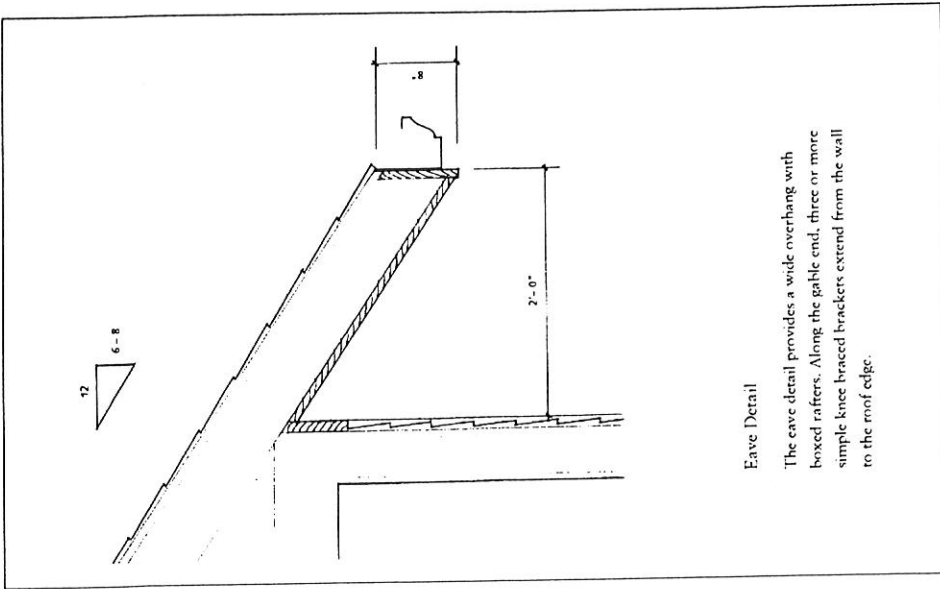
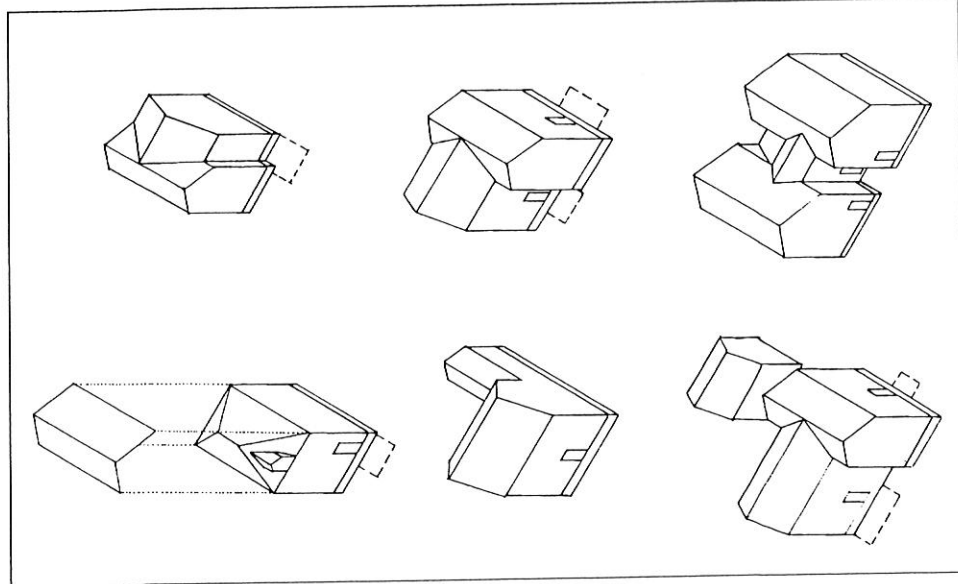
1. Deep eaves, often with exposed, molded rafter ends and ornamental brackets
2. Grouped windows in pairs or in threes with upper sashes of divided light patterns
3. Deep porches with ornamental half-timbering, wood columns that are often tapered or on brick piers, and solid railings
4. Simple, straight-forward volume with low slope gabled or hipped roof
5. Continuous horizontal trim band or belt course, at the second floor window sill line

PARK DUVALLE PATTERN BOOK

Massing

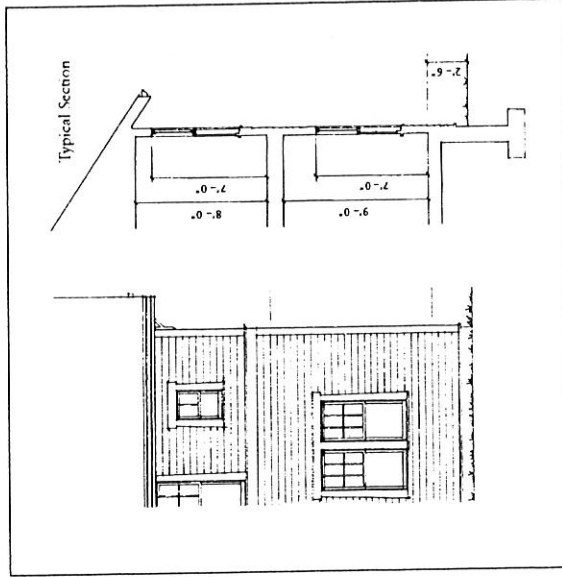
The basic volume is a simple rectangular form with either a gabled or hipped roof. The long axis can be either perpendicular or parallel to the street. Complex house forms are composed of two or more simple volumes with the same roof forms, i.e. irregular or asymmetric forms are not used.

Roof pitches are either 6 in 12 or 8 in 12, except for special gabled fronts which can use a steeper pitch. Wide central dormers on the front facades of hipped roof houses are encouraged.



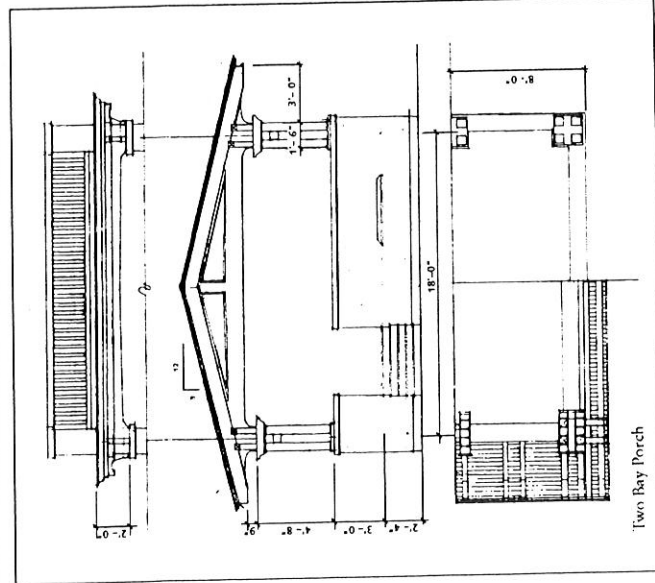
Eave Detail

The eave detail provides a wide overhang with boxed rafters. Along the gable end, three or more simple knee braced brackets extend from the wall to the roof edge.

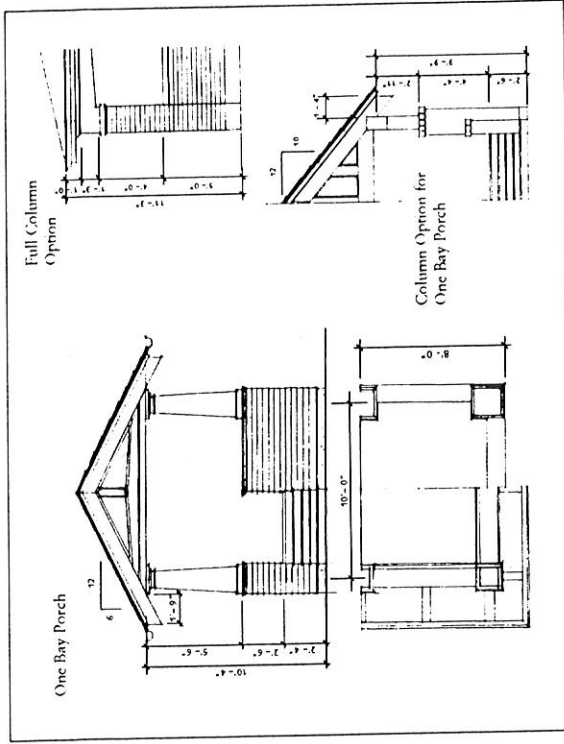


ARCHITECTURAL PATTERNS

Louisville Craftsman – Massing



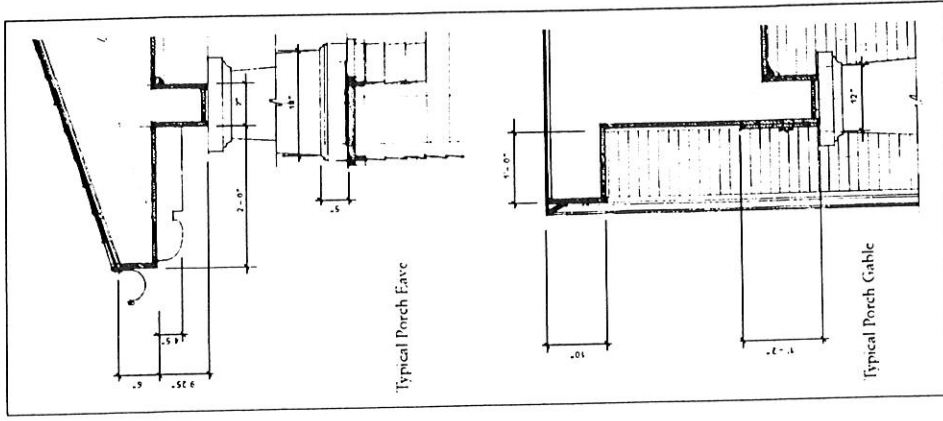
Two Bay Porch



One Bay Porch

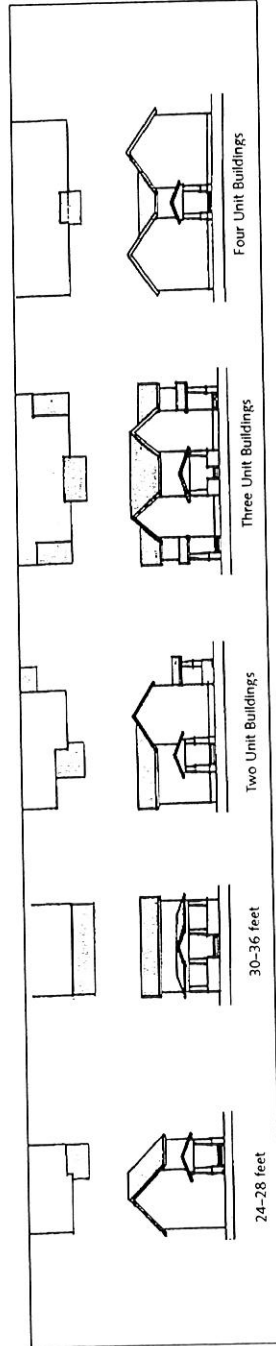
Full Column Option

Column Option for One Bay Porch



Typical Porch Eave

Typical Porch Gable



Two Unit Buildings

Three Unit Buildings

Four Unit Buildings

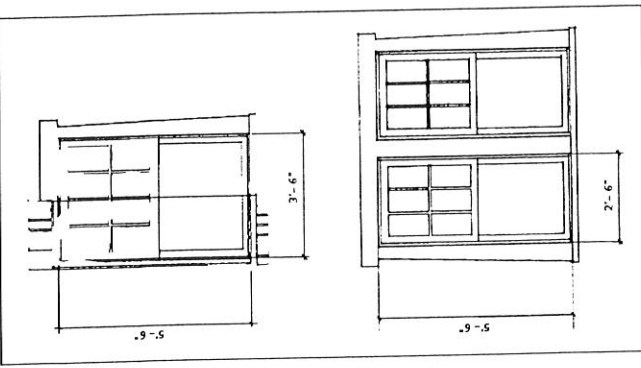
30-36 feet

24-28 feet

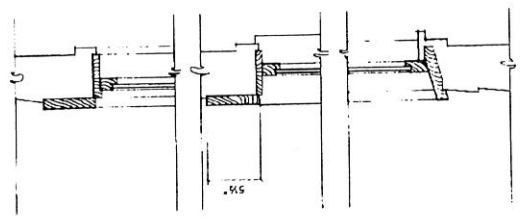
Porch Placement

ARCHITECTURAL PATTERNS

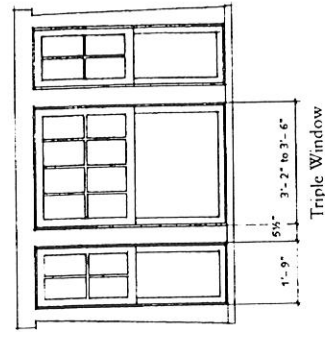
Louisville Craftsman – Porches



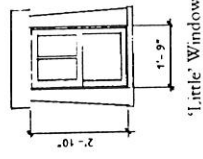
Standard Windows



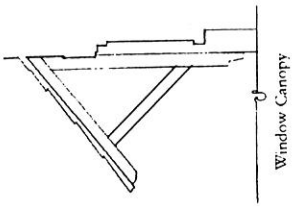
Window Profile



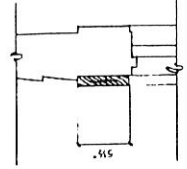
Triple Window



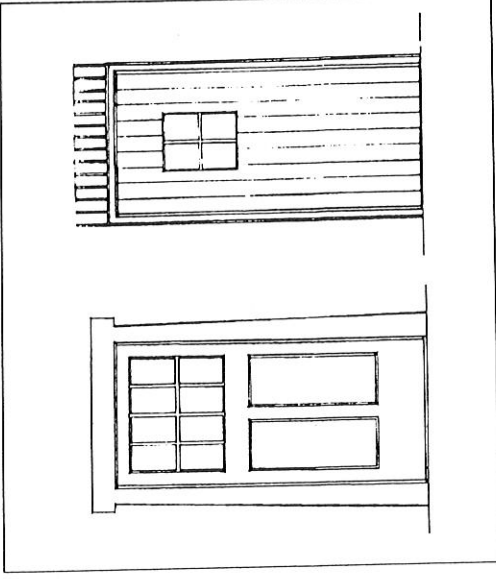
'Single' Window



Window Canopy



Door Profile

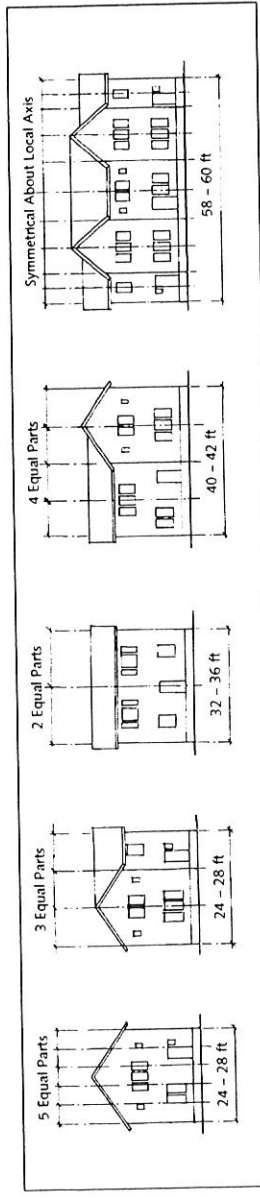


Doors

Windows & Doors

Standard windows are 6 over 1, typically paired or tripled. Special windows provide a central feature or a contrast in scale. Fanciful shaped trim is encouraged. A second floor window canopy at the front gable and bracketed window boxes are common elements.

Panel doors with divided lights are encouraged, with trim to match the windows.



Window & Door Placement

ARCHITECTURAL PATTERNS

Materials

- Roofing:** Asphalt or fiberglass shingles; slate or synthetic slate.
- Cladding:** Wood, fiber-cement, or vinyl horizontal siding, 4 inches to 6 inches wide, with beveled profile; smooth finish standard size brick in running bond; or light sand finish stucco or exterior finish system.
- Trim:** 3/4 inch x 6 inch corner boards; wood and molded millwork for built-up sections. Deluxing (wrapping wood with aluminum) is not permitted.
- Soffits & Porch Ceilings:** T & G wood or beaded pattern plywood; GWB or plaster; T&G composite and beaded vinyl. Continuous perforated soffit materials are not permitted.
- Columns:** Square wood box column, tapered with capital and base moldings; square wood post and beam, often paired; square brick, stone, or stucco cap.
- Railings:** Solid; siding, brick, or stucco; open 2x2 balusters at 2nd floor terraces.
- Foundations:** brick; stucco; formed concrete with siding.
- Lintels:** Brick, stucco, precast concrete, or stone.
- Shutters:** Panel or louver in wood, unfinished metal or composite material, mounted with hardware to appear operable.
- Gutters:** Open profile ('K' style), unfinished aluminum.
- Downspouts:** Rectangular smooth unfinished aluminum.
- Chimneys:** Brick; stucco or exterior finish system.
- Lighting:** Porch ceiling, or wall bracket.

Colors

- Roof Shingles:** Medium to dark grey or brown.
- Siding:** White, light gray, tan, or light earth colors.
- Stucco:** Off-white, light grey, sand, tan, or light earth colors.
- Brick:** Close range of medium reds with light sand, tan, or light earth toned color mortar.
- Windows:** Sashes and frames to be white.
- Doors:** Dark brown, dark red, or dark green.
- Trim:** Window, corner, and eave trim to be white.
- Wood Columns:** White.

